

# RURAL EDGE

## **DESCRIPTION:**

Public pedestrian links with Capstone Park are the most important element here.

Steep topography makes this unviable for lower value housing.

Detached family homes in generous plots decrease density in this area, this feels like the transition between homes and countryside.

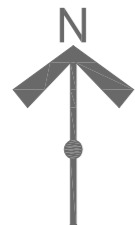
Drainage must be accommodated – high quality landscape design is vital to the character of this place.

Drainage will be in open swales

Road embankment

Retained Informal footpath

Towards North Dane Way  
(and rest of development)



NDW

Public access link to Capstone Country Park from footpath.

Public footpath through Capstone Country park and neighbouring fields.

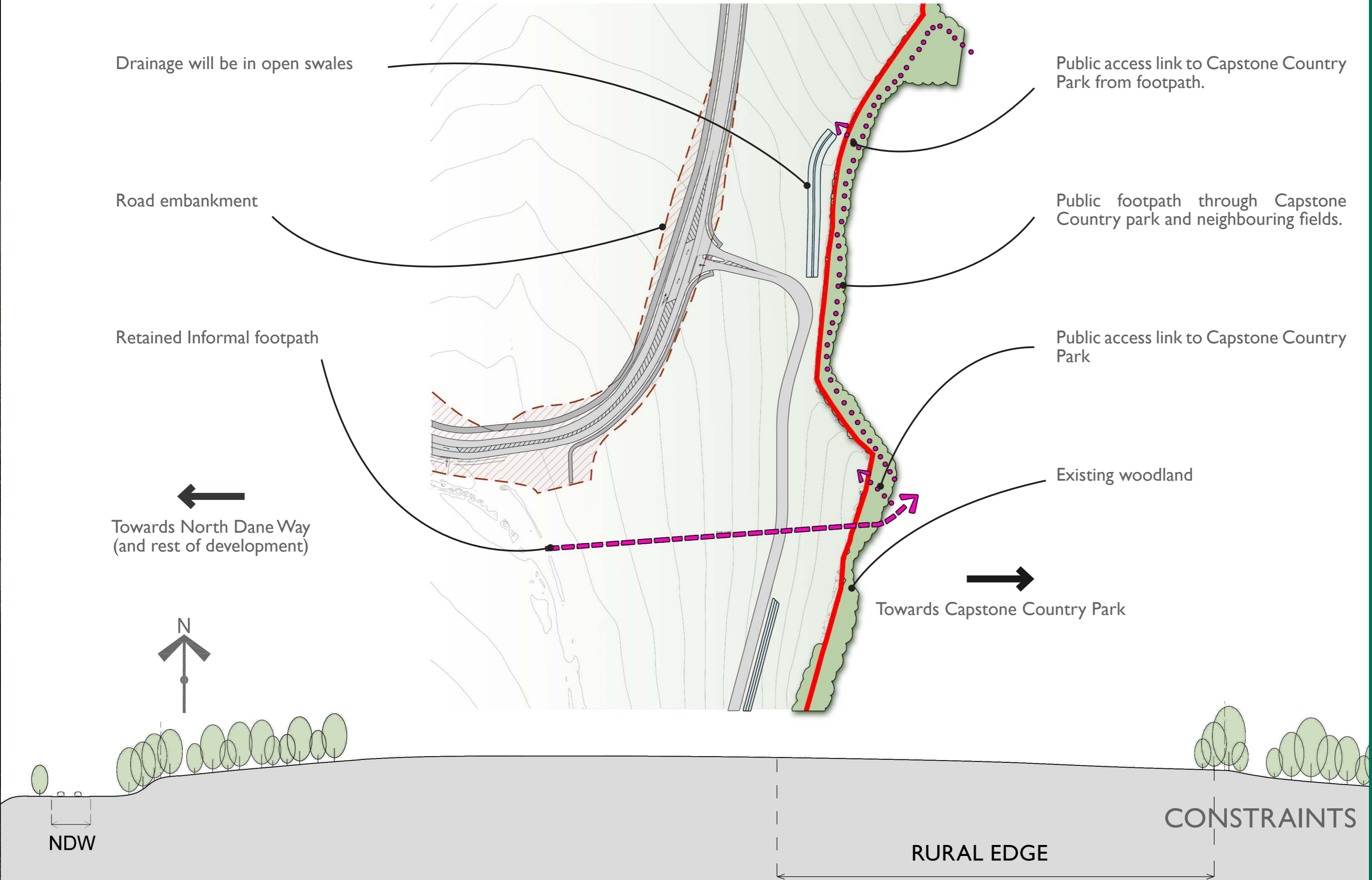
Public access link to Capstone Country Park

Existing woodland

Towards Capstone Country Park

CONSTRAINTS

RURAL EDGE



**IMPORTANT ELEMENTS**

- CONTEMPORARY DESIGN
- HIGH VALUE
- LOW DENSITY
- ASPIRATIONAL
- WEST FACING GARDENS
- VIEWS
- CYCLING AND FOOTPATHS
- LANDSCAPE

**TOPOGRAPHY**

- CONSTRAINTS DUE TO STEEP SLOPE
- ORIENTATION OF HOMES TO CAPTURE VIEWS)

**NOT SUITABLE FOR**

- LOWER VALUE HOUSING (TOO STEEP)
- TERRACE HOUSE TYPE
- STANDARD HOUSE TYPES DESIGNED FOR A FLAT SITE

**MUST HAVE**

- DESIGNED WITH CONTOURS
- WEST FACING GARDENS
- PUBLIC FOOTPATHS



**SITE AREA**

Developable Area = 55142m<sup>2</sup>  
Open space = 33273m<sup>2</sup>  
Total Site Area = 8.79 Ha

**NUMBER OF UNITS**

160 Units

**DENSITY**

29 Units per Ha

**TENURE SPLIT**

Affordable housing is possible in the transition between urban and rural but not on the steep rural edge where build costs will affect viability



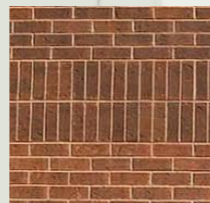
Grey fibre-cement roof tiles



Metal clad dormer windows



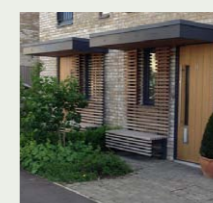
Black stained weatherboard



Brick soldier-course detail



High quality windows with large percentage of glazing

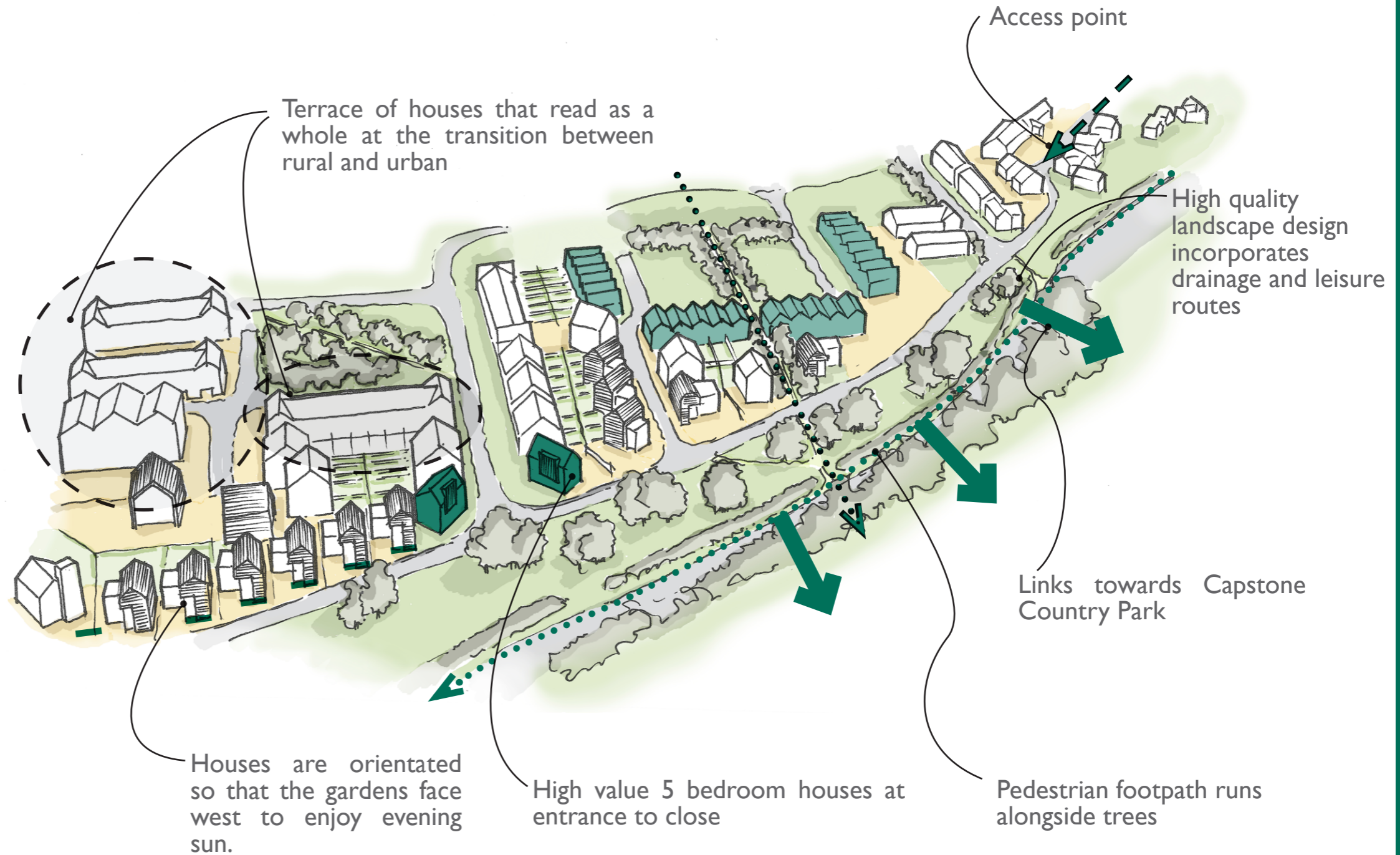


Front covered area



Shingles

08284A  
East Hill, Chatham



- RURAL**
- VIEWS TOWARDS PARK**
- ASPIRATIONAL**
- CONTEMPORARY**
- BREATH OF FRESH AIR**

Footpath runs through square, connects to Capstone Country Park.

Terrace houses create a square with LEAP in the centre

# HILLTOP

## **DESCRIPTION:**

This area is relatively flat compared to the rest of the development facilitating higher density.

This is a sub-urban area including semi-detached units with side entrances.

The scale of this site and location makes it focal, seen from the main access points to the site, Hilltop also contains a number of character areas to reflect its level of importance.

Existing route of sewage running adjacent to and through site at the roundabout

Potential drainage requirement

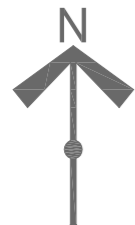
Road embankment

Potential drainage requirements (swales)

Existing Woodland

Access to site from footpath running through existing woodland (Capstone Park)

Towards Capstone Park



NDW

HILLTOP

CONSTRAINTS