

**IMPORTANT ELEMENTS**

RELATIVELY HIGH DENSITY AREA DUE TO THIS BEING THE FLATTEST PART OF THE SITE

MAXIMUM VALUE WILL BE ACHIEVED BY DEVELOPING CONTEMPORARY HOMES THAT VARY IN DENSITY AND CHARACTER

PLACEMAKING IS VERY IMPORTANT IN THIS LOCATION, THERE ARE A NUMBER OF KEY CHARACTER AREAS THAT MUST BE RETAINED AT DETAILED STAGE TO ENSURE THIS IMPORTANT LOCATION DOES NOT BECOME A HOUSING ESTATE WITH NO CHARACTER

THERE IS A SUBURBAN FEEL TO THIS AREA, STREETS ARE WELL DEFINED AND ARE NOT JUST MADE UP OF A COLLECTION OF DEVELOPER HOUSE TYPES THAT DO NOT RELATE TO ONE ANOTHER

**TOPOGRAPHY**

THIS IS THE FLATTEST AND THEREFORE EASIEST TO DEVELOP PART OF THE SITE

**NOT SUITABLE FOR**

HERITAGE, "EXECUTIVE" OR TRADITIONAL STYLE HOMES

HIPPED ROOF

LOW COST SOLUTIONS

DETACHED GARAGE BLOCKS

SMALL WINDOWS

**MUST HAVE**

SEMI DETACHED UNITS MUST BE MULTI SIDED AND HAVE SIDE ENTRY IN FOCAL LOCATIONS

STREETS MUST BE DESIGNED IN THEIR ENTIRETY

**SITE AREA**

Developable Area = 53133m<sup>2</sup>  
Open space = 35395m<sup>2</sup>  
Total Site Area = 11 Ha

**NUMBER OF UNITS**

202 Units

**DENSITY**

38 Units per Ha

**TENURE SPLIT**

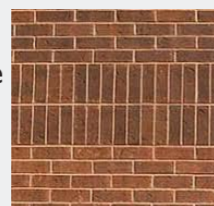
Suitable for all sorts of tenure



Grey fibre-cement roof tiles



Red concrete interlocking roof tiles



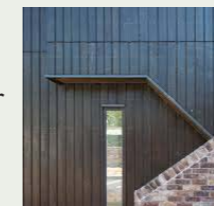
Brick soldier-course detail



Red colour brick walls



Buff colour brick walls



Black stained weather-board



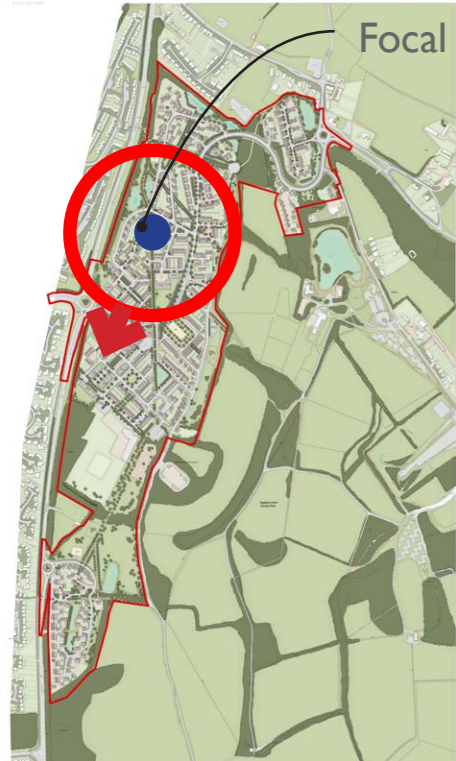
High quality windows with large percentage of glazing



Front covered area

08284A  
East Hill, Chatham

**FOCAL AREA**



Focal area

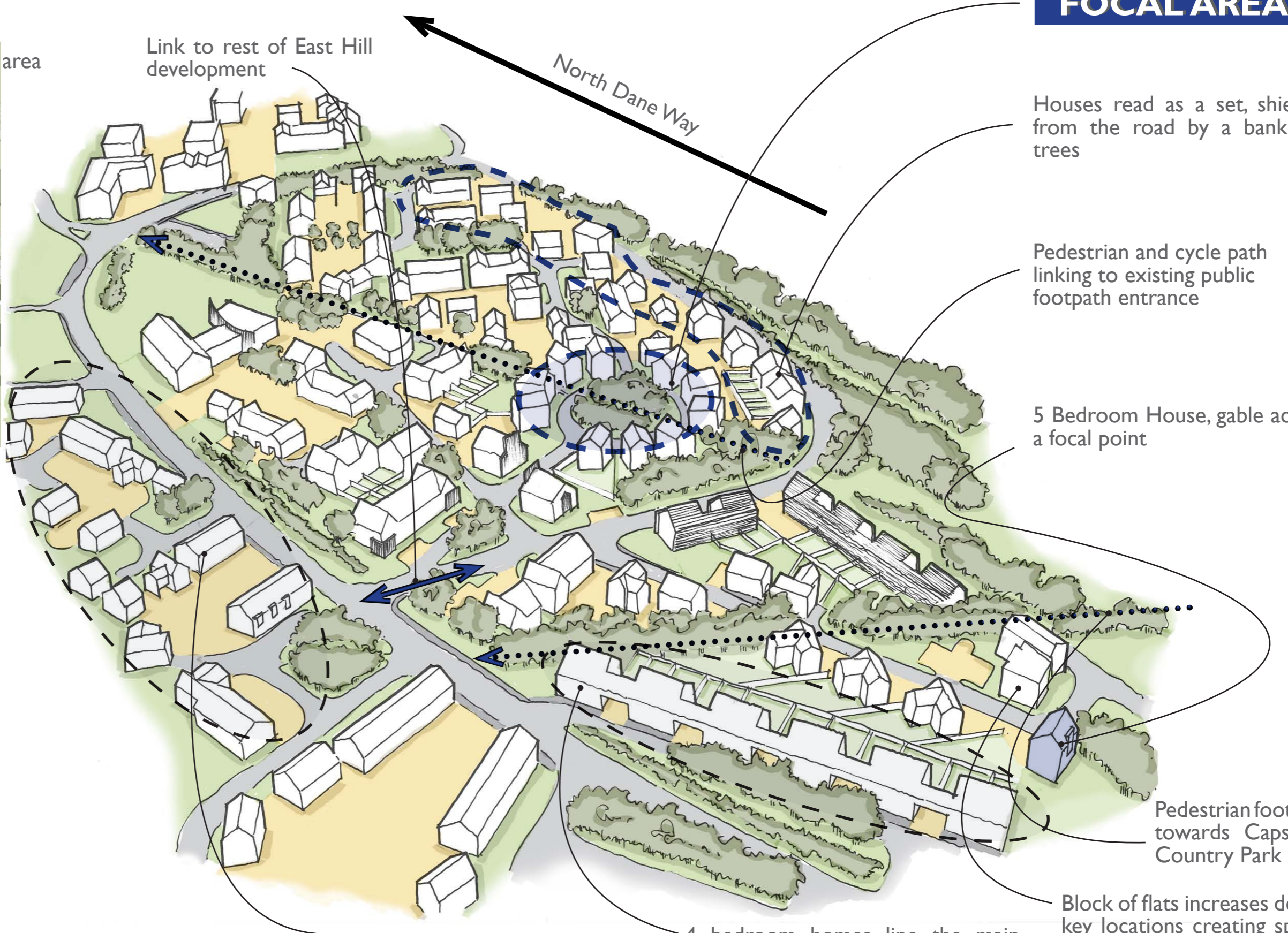
Link to rest of East Hill development

North Dane Way

Houses read as a set, shielded from the road by a bank and trees

Pedestrian and cycle path linking to existing public footpath entrance

5 Bedroom House, gable acts as a focal point



Pedestrian footpath towards Capstone Country Park

Block of flats increases density in key locations creating space for family units

4 bedroom homes line the main route on the top of the embankment. The edge is defined by consistent rhythm. landscape unifies the two sides of the road

Houses do not run alongside the main road, instead gable ends create rhythm and define key points on the route. blank gables are not acceptable

**RHYTHM ON MAIN ROAD**

**COMMUNITY**

# URBAN

## **DESCRIPTION:**

**This is the highest density area of the development.**

**Straight streets with well-defined edges lead to impressive contemporary squares where homes are three or four storeys, parking is integral and landscape is formal.**

Proposed Roundabout

Road embankment

Potential drainage requirement

Existing woodland runs alongside North Dane Way,

Existing footpath with links to site at Rural Edge.

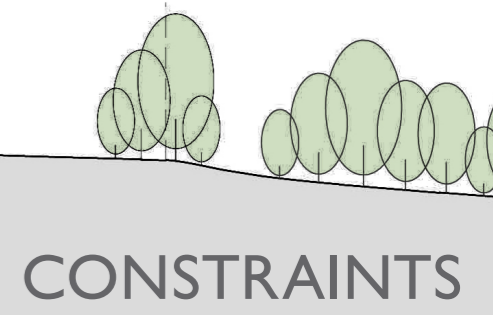
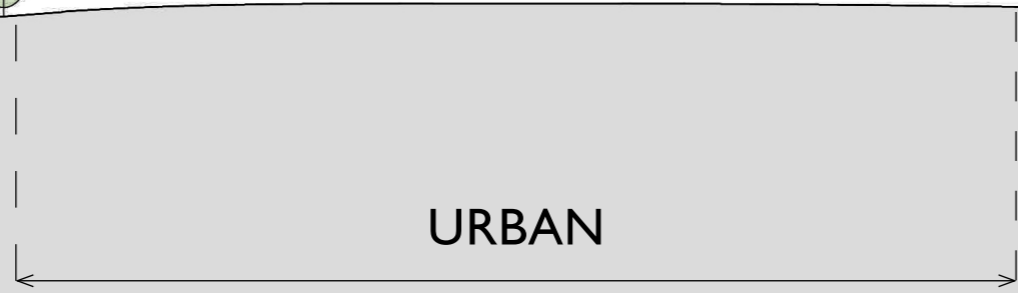
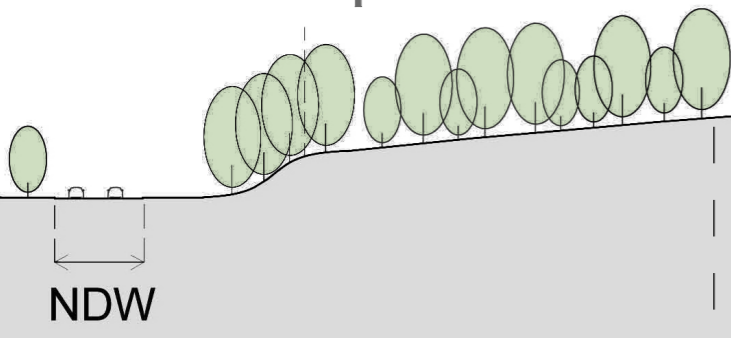
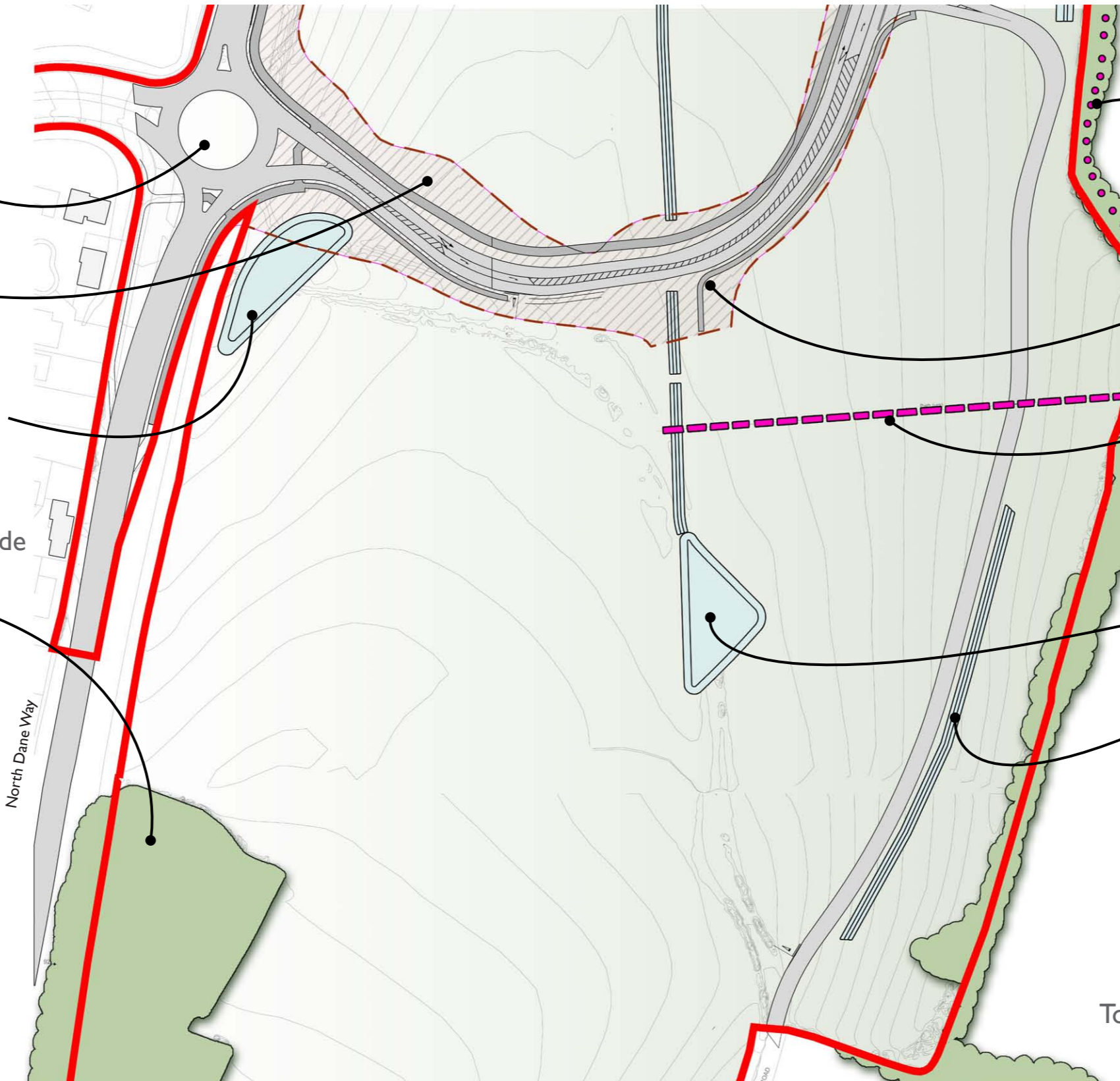
Access from the main road

Existing informal footpath through site linking towards Capstone Country Park

Potential drainage requirements (swales)



➔  
To Capstone Country Park



NDW

URBAN

CONSTRAINTS

**IMPORTANT ELEMENTS**

FOUR STOREY APARTMENT BLOCKS AND TALLER TOWN HOUSE TYPES WITH AN URBAN FEEL

HIGH DENSITY AREA, LAID OUT IN A GRID FORMAT LEADING TO FORMAL URBAN SQUARES

CONTEMPORARY FEEL WITH A LIMITED PALETTE OF MATERIALS

**TOPOGRAPHY**

THIS PART OF THE SITE IS RELATIVELY FLAT ALLOWING FOR A HIGH DENSITY OF DEVELOPMENT.

**NOT SUITABLE FOR**

HERITAGE, "EXECUTIVE" OR TRADITIONAL STYLE HOMES

HIPPED ROOF

LOW COST SOLUTIONS

SMALL WINDOWS

LOW RISE

LOW DENSITY

**MUST HAVE**

FLATS TO HAVE LARGE WINDOWS AND BALCONIES TO MAXIMISE VIEWS

SEMI-DETACHED UNITS MUST HAVE SIDE ENTRANCES

**SITE AREA**

Developable Area = 42817m<sup>2</sup>  
Open space = 10288m<sup>2</sup>  
Total Site Area = 5.11 Ha

**NUMBER OF UNITS**

212 Units

**DENSITY**

50 Units per Ha

**TENURE SPLIT**

Quality homes, ideal for first time buyers  
Townhouses for families  
suitable for affordable and private sale



Grey fibre-cement roof tiles



Red concrete interlocking roof tiles



Red colour brick walls



Buff colour brick walls



Grey colour brick walls



Standing seam metal roof

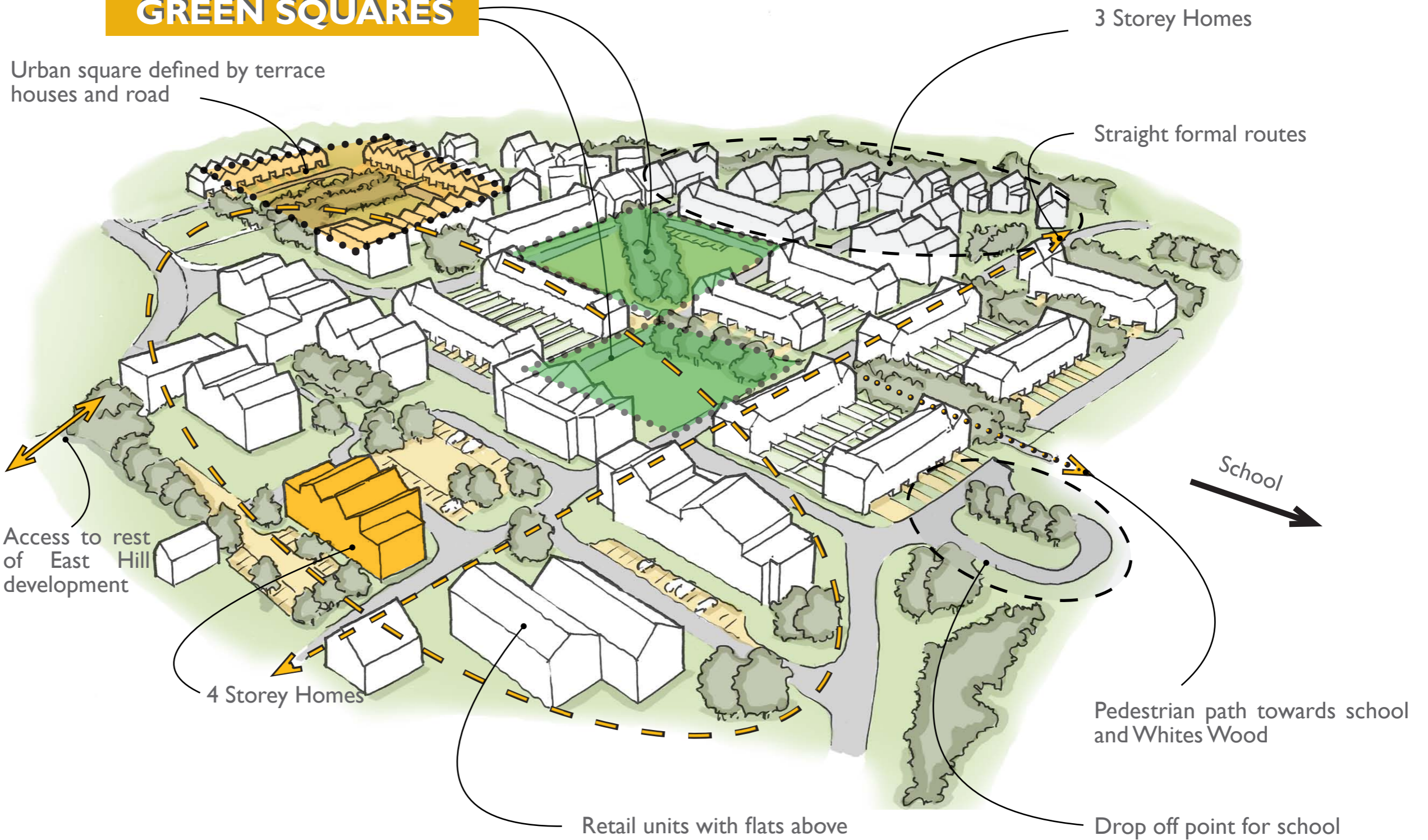


High quality windows with large percentage of glazing



## GREEN SQUARES

Urban square defined by terrace houses and road



**GRID PATTERN**

**URBAN FEEL**

**TOWN HOUSES**

# WHITES WOOD

## DESCRIPTION:

Very steeply sloping site makes this unviable for lower value housing.

North Dane Way frontage is important here, it is the most visible part of the site.

Grain is tight and intimate, streets are usually short but destinations are clear, well defined and focal.

This is a very desirable place to live, values are high.

Proposed roundabout

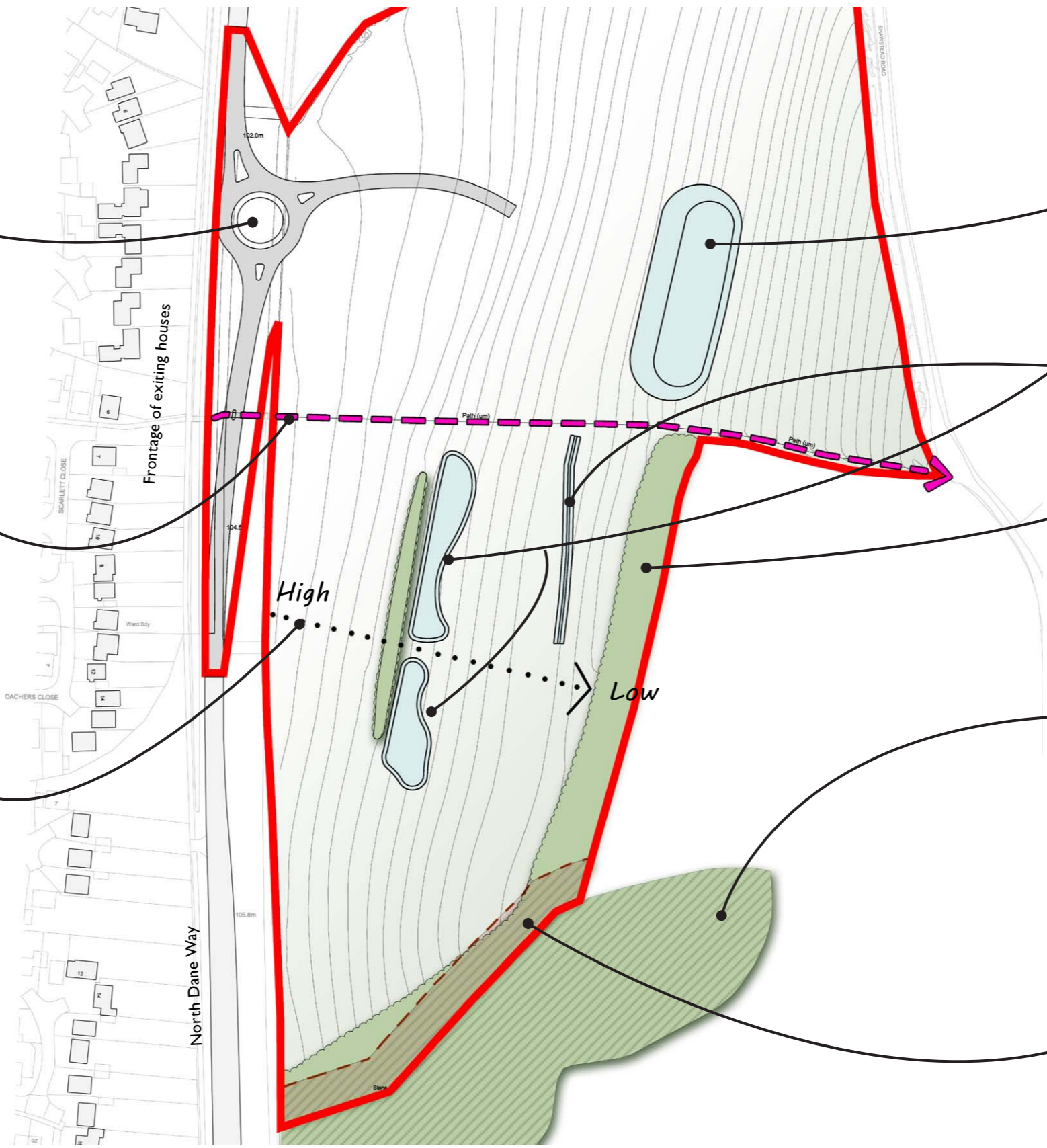
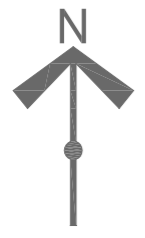
Potential drainage requirement

Existing path through site (PRoW)

Existing woodland

Terrain slopes steeply down towards the woodland

Ancient woodland towards the south of the development.



Ancient woodland buffer (15m)

NDW

CONSTRAINTS

WHITES WOOD

SHAWSTEAD ROAD



**IMPORTANT ELEMENTS**

- CONTEMPORARY DESIGN
- VISIBILITY FROM ROADS AND PARK
- HIGH QUALITY MATERIALS
- INDIVIDUALITY - "GRAND DESIGNS"
- ROOFSCAPE
- PLACEMAKING WILL MAXIMISE VALUE
- ANCIENT WOODLAND CONSTRAINT BUFFER
- HIGH VALUE FOCAL HOMES DEFINE THE PLACE

**TOPOGRAPHY**

- VERY STEEP SITE
- DO NOT DESIGN IN PLAN, DESIGN IN 3D. BECAUSE THE HOMES ARE OFTEN VISIBLE FROM A DISTANCE

**NOT SUITABLE FOR**

- LOWER VALUE HOUSING (TOO STEEP)
- HIGH DENSITY
- STANDARD HOUSING ESTATE APPROACH
- LOW COST SOLUTIONS
- HERITAGE,/ TRADITIONAL STYLE/ "EXECUTIVE HOMES"

**MUST HAVE**

- HIGH QUALITY MATERIALS
- DENSITY THAT REFLECTS TOPOGRAPHY (LOW)
- VALUE IS ACHIEVED THROUGH DESIGN QUALITY, NOT THROUGH DENSITY
- DESIGN WITH CONTOURS



**SITE AREA**

Developable Area = 29034m<sup>2</sup>  
Open space = 14998m<sup>2</sup>  
Total Site Area = 4.94 Ha

**NUMBER OF UNITS**

72 Units

**DENSITY**

25 Units per Ha

**TENURE SPLIT**

Not suitable for affordable housing



Grey fibre-cement roof tiles



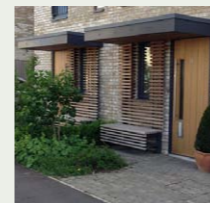
Red concrete interlocking roof tiles



Red colour brick walls



Buff colour brick walls



Front covered area



Black stained weather-board



Metal clad dormer windows



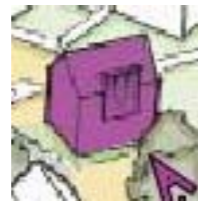
High quality windows with large percentage of glazing

**08284A**  
**East Hill, Chatham**



Public footpath runs through the site and towards the rest of the East Hill Development

Very high value focal homes are visible from across the park and other long views. These must be special.



Public footpath

Central focal area where footpaths meet

North Dane Way frontage is important. Roofline must be consistent, rhythm must be clear

Existing wooded bank which separates different clusters of homes

Arrival Point

North Dane Way



Consistent Roof rhythm. These homes run alongside entrance road

These homes frame the footpath and focal building

Public pedestrian and cycle path leading to the rest of East Hill Development, through the park

Buildings at the end of path and road are focal

- VISTA**
- INDIVIDUAL**
- CONTEMPORARY**

This document has been written to explain the extent to which placemaking and design have been considered at outline planning stage.

This scheme is not a capacity study that allows for developers to apply standard house types to create a generic housing layout – the topography is too challenging and such a concept will not meet the aspirations of Medway Council, who have been very involved with design development.

Indicative materials have been shown, these are for guidance and to represent the contemporary aesthetic and quality that is required (brick colours could change but white weatherboarding and render are not appropriate).

East Hill will be a place with a number of character areas – each attractive and desirable in its own way. It has been designed to achieve variety and to be aspirational, a pragmatic approach to achieving design quality. Future detailed designs must illustrate and understanding of this fundamental design aspiration.