



94A, 94C SHIPBOURNE ROAD
TONBRIDGE. TN10 3EG

FULL PLANNING APPLICATION

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1.0

INTRODUCTION

1.1 INTRODUCTION

Application Summary

This Design & Access Statement has been prepared as part of the supporting materials for the demolition of the existing Motorcycle garage and redevelopment of the site at 94A, 94C Shipbourne Road, Tonbridge, to provide 2 No. semi-detached dwellings.

Its purpose is to identify and briefly explain the design process including decisions made in regard to the proposed scheme. It also illustrates the amendments to the scheme from that of the previous Pre-Application submission where all comments issued by the Planning Department have been responded to as part of the new design.

The proposal demonstrates a design-led development for a high quality residential building offering a mixture of unit sizes.

The proposal has been set out to respect the existing building footprint, neighbouring properties and general massing/scale within the immediate surrounding street scene. The proposal also aligns with Nationally Described Space Standards.

The massing of the proposed building has been designed to consider and respect the amenity and privacy of the neighbouring sites, providing a much improved quality of rear amenity space following the proposed demolition of the existing workshop currently situated to the rear portion of the site. Off-street parking has also been provided to respond to the existing dropped kerb detail to avoid additional parking being positioned within the immediate junction to the East of the site.

2.0 CONTEXT STUDY

2.1 LOCATION MAP

SITE LOCATION

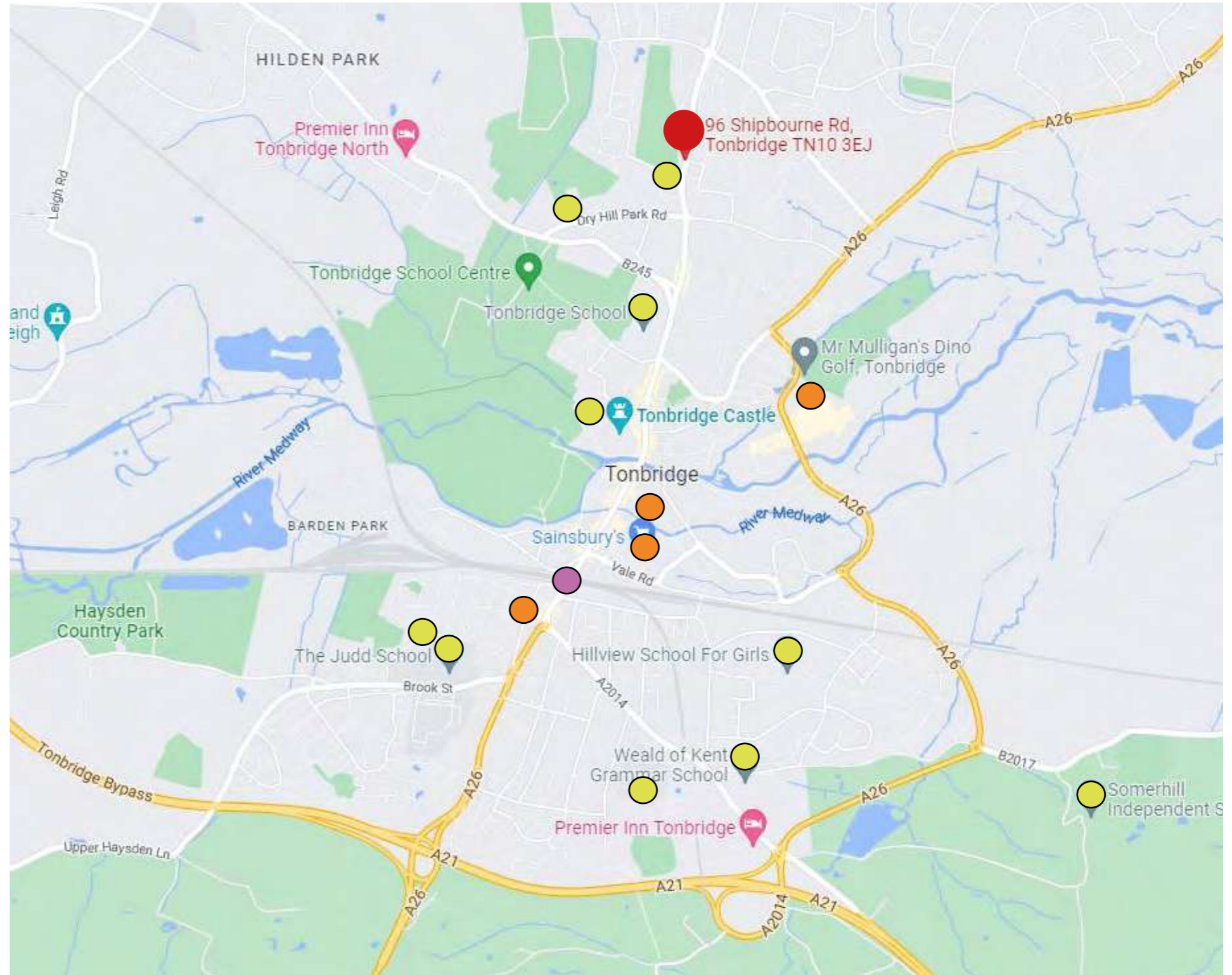
The site of 94A, 84C Shipbourne Road is located to the north of Tonbridge Town Centre. The site is served with excellent, existing Transport Infrastructure which connects to a range of local amenities. The following bus routes are served by the local bus stop which is positioned 100m from the site. These include bus routes 208, 211, 218, 219, 222, 223, 224, 228, 582, 772, 775, 776, 789 & HC1.

Walking into town takes approximately 10mins with shorter journey times provided by local buses.

The local area surrounding the site also includes easy access to a number of major supermarkets and retail outlets.

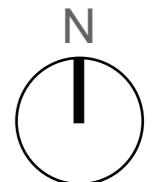
There are a high number of local schools centred in and around Tonbridge Town.

The town is served by a single mainline railway station which provides direct access routes into central London in around 1 hour



LOCATION MAP KEY

- Proposed Site
- Supermarkets (Lidl, Sainsburys, Aldi, Iceland)
- Tonbridge Mainline Railway Station
- Tonbridge Schools
- A Roads
- Green Space
- Water Ways



2.2 PROPOSED SITE LOCATION

SITE DESCRIPTION & CONTEXT

The site is located at the junction of Dernier Road and Shipbourne Road and is set back from the primary street frontage by circa 2.5m. The nearest train station is Tonbridge Mainline Railway Station which is located circa 1.1 miles to the South of the site and accessed via Shipbourne Road which merges into the B2260.

The surrounding area to the site is primarily residential in character with a service station, public house and primary school located at Welland Road Junction less than a minute walk to the south.

The immediate surrounding to the proposed site includes a number of 2 and 3no. storey residential buildings with a number of recent developments having been constructed all along Shipbourne Road. These typically consist of:

- Detached, 3-4 bed houses
- Semi-detached 2-3 bed houses
- Flatted Developments

There is no single architectural style or predominant material along Shipbourne Road. Tiled pitched roofs are of varying type and colour and vary in pitch considerably. These typically consist of:

- Slate roofing
- Concrete roof tiles
- Traditional clay roof tiles

Existing buildings are also of various ages and Architectural styles. Front gardens are not very common, present only on the just residential use buildings and are predominately tiled spaces that do not provide separation from the street activity. .

EXISTING BUILDING

The building is currently of a poor visual quality. The elevations are off-white render with white horizontal, banded features with a large parapet masking the roof structure from the street scene.

The retail units at ground level have been painted black and have a large variety of graphics and signage serving the different retail units which do not provide a consistent aesthetic to the building.



LOCATION MAP KEY

- Site Boundary
- - - Boundary of Tonbridge Cemetery
- A Road (A227)
- 01** Little Cricket's Pre-School
- 02** Public House (The Royal Oak)
- 03** Service/Petrol Station (Shell)
- 04** Motorcycle Garage/Shop (Sturdeys)
- 05** Tonbridge Cemetery



2.3 EXISTING SITE PHOTOS



1. FACING WEST TOWARDS THE EXISTING GARAGE PRIMARY ELEVATION



2. FACING S.WEST TOWARDS 88-94 SHIPBOURNE ROAD



3. FACING TOWARDS THE SITE FRO THE ENTRANCE OF THE CEMETERY



4. FACING EAST TOWARDS THE SITE FROM THE CEMETERY



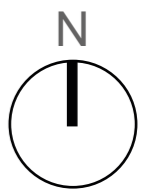
5. FACING S.WEST TOWARDS 96-98 SHIPBOURNE ROAD



6. FACING NORTH TOWARDS THE SITE FROM THE SOUTHERN APPROACH



SITE PLAN



2.4 EXISTING SITE PHOTOS (CONTINUED)



1. BOUNDARY (LEFT) BETWEEN GARAGE AND NO. 94 SHIPBOURNE ROAD



2. FACING WEST TOWARDS TONBRIDGE CEMETERY GROUNDS



3. FACING SOUTH TOWARDS REAR AMENITY SPACE OF NO.94



4. FACING EAST TOWARDS THE REAR ELEVATION OF THE 2-STOREY UNIT



5. FACING N.EAST TOWARDS THE REAR ELEVATIONS OF NO. 96



6. FACING NORTH TOWARDS REAR AMENITY SPACE SERVING NO. 96



7. FACING S.EAST TOWARDS THE REAR ELEVATION OF NO. 94



8. GROUND FLOOR TO EXISTING MOTORCYCLE GARAGE



9. FACING S.WEST TOWARDS REAR AMENITY SPACE OF NO.94

2.5 SITE PHOTOS - EXISTING 3-4 STOREY BUILDINGS



1. ADDITIONAL STOREY ADDED TO EXISTING CORNER SITE



2. CONTEMPORARY 4-STOREY FLATTED DEVELOPMENT (IMAGE 1)



3. MODERN 3-STOREY DETACHED HOUSE DEVELOPMENT



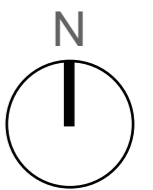
4. CONVERSION OF ROAD SPACE TO FORM THIRD LEVEL OF ACCOMMODA-



5. CONTEMPORARY 4-STOREY FLATTED DEVELOPMENT (IMAGE 2)



SITE PLAN



2.6 TYPOLOGIES & MATERIALITY

SURROUNDING MATERIALITY

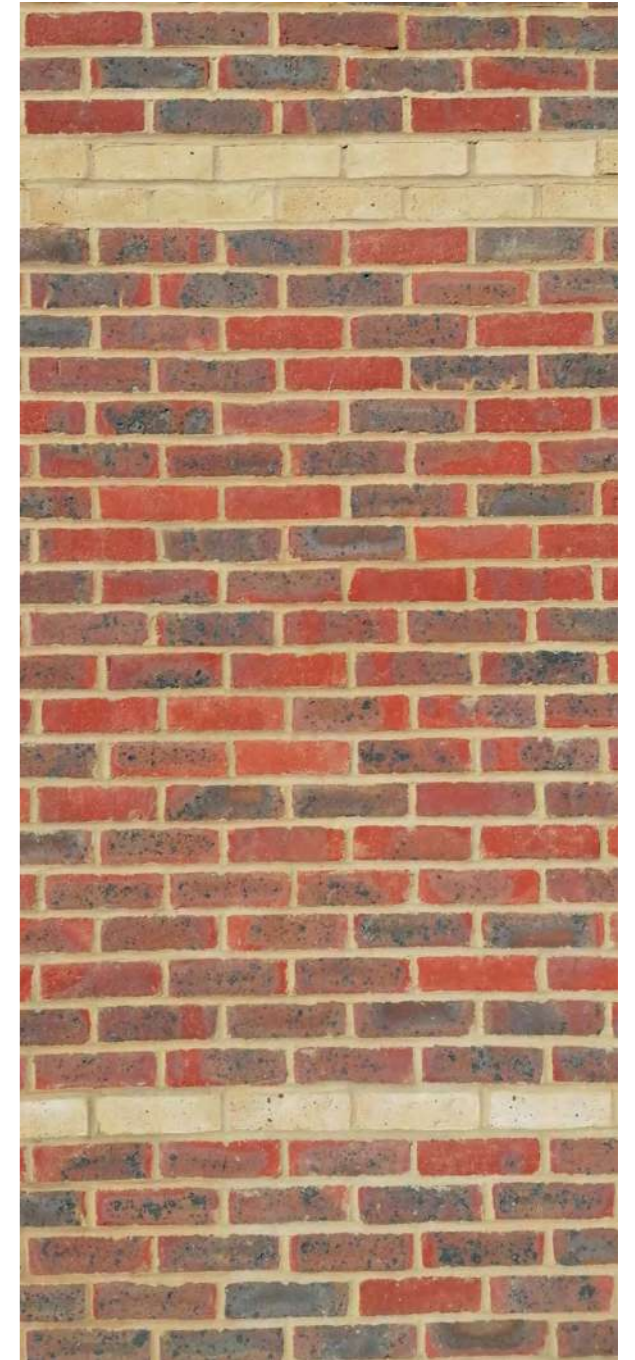
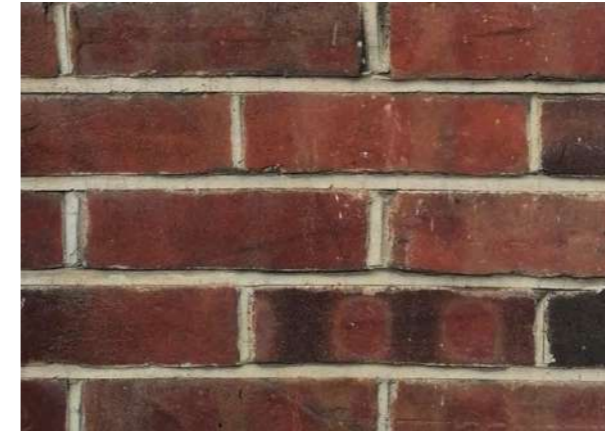
The materiality of the surround urban fabric is primarily multi/red and buff brickwork with numerous examples of render finishes (typically white in colour).

A mixture of building materials can be found within the local area, with the use of red brick, render, timber panelling and hung tile. The residential buildings also include the use of localised brick detailing, often to add visual interest to the street scene.

MATERIALITY OF THE EXISTING SITE

The existing building on the site of 94A-94C Shipbourne Road includes the following material palette:

- Off-white/cream render to first floor elevations
- Red multi brickwork to ground floor
- Corrugated powder coated steel to garage & workshops (off-white)
- Concrete roof tiles
- Mixture of metal frame and uPVC window units



THE EXISTING BUILDING (PRIMARY FACADE)



3.0

PLANNING CONSULTATION

3.1 PRE-APPLICATION RESPONSE

A Pre-Application submission was made in October 2022 based upon a proposal for 2 No. 4 bedroom, semi detached properties. An overall positive response was provided as part of the Pre-App letter (see details below). Following this, a number of revisions have been undertaken to respond directly to those comments received which has resulted in a proposed design with significantly reduced massing, height and architectural detailing taken from the immediate precedent of the street scene.

PRE-APPLICATION REFERENCE:

TM/22/02103/FINF

DATE ISSUED:

25th October 2022

DESCRIPTION/PROPOSAL:

The enquiry relates to the demolition of the existing garage and associated buildings and the erection of a pair of three storey, semi-detached dwellings. The dwellings have been designed with barn hipped roofs and dormer windows to the rear.

OFFICER:

Maria Brown (Senior Planning Officer)

OFFICER ADVICE:

The site lies in the confines of the urban settlement within walking distance of the town centre and close to public transport links. The site is therefore a sustainable location suitable, in principle for residential use. Similarly, although the loss of an existing retail/commercial unit is in principle undesirable, it is not located within a designated retail area and its loss is therefore likely to be acceptable.

I note that suitable curtilage parking is to be provided and this is welcomed. However, I have strong reservations about the proposed design of the dwellings.

The ridge height is too high and does not reflect the height of the adjacent buildings. In addition, the use of barn hip roofs is out of character with the wider area. I recommend the scheme is redesigned and that design cues are taken from the immediate surroundings. I would suggest the fenestration is realigned to follow the rhythm of the adjacent buildings and their overall width is reduced. Whilst the introduction of porch structures may be acceptable I recommend once again these are redesigned to reflect the adjacent dwellings. I appreciate that a pastiche does not necessarily equate to good design, but in this instance, you may wish to consider echoing the scale and details of the dwellings in the immediate area.

With regard to amenity issues, I am confident that a suitable design can be achieved which will not result in any unacceptable loss of privacy or residential amenity to the nearby dwellings.

To conclude, I am of the opinion that the redevelopment of the site is, in principle, likely to be acceptable. However, I recommend the overall design is amended.

DESIGN RESPONSE COORDINATED WITH CURRENT PLANNING APPLICATION:

- Proposed ridge amended in height to respond to level/elevations of neighbouring buildings. This has resulted in a reduction of over 900mm
- Barn hip roof detail omitted
- Window widths aligned with immediate precedent from neighbouring buildings
- Window head/cill details amended to reflect neighbouring precedent
- Porch detail omitted
- Overall massing significantly reduced (resulting in reduced size of proposed accommodation)
- Traditional entrance door detail provided
- Reduction in proposed building footprint/envelope

3.2 PROPOSED STREET ELEVATION AT PRE APPLICATION STAGE



EXISTING PRIMARY ELEVATION
1:50@A1



EXISTING PRIMARY ELEVATION
1:50@A1

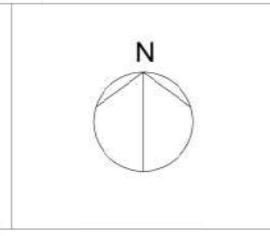
<p>1. THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED UPON CLIENT SUPPLIED DRAWINGS FOR PLANNING USE ONLY. NOT FOR CONSTRUCTION PURPOSES.</p> <p>2. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.</p> <p>3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANT'S DRAWINGS AND SPECIFICATIONS.</p> <p>4. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT.</p>	<p>1:50</p>	<p>05/2022 PRELIMINARY ISSUE</p>	<p>SHORE ARCHITECTURE</p> <p>STURDEYS MOTORCYCLES GARAGE 94A, 94C SHIPBOURNE ROAD, TONBRIDGE</p> <p>HOUSING OPTION EXISTING & PROPOSED PRIMARY ELEVATION</p> <p>1:50@A1 05 2022 SA.144 P(H)10</p>
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3.3 PROPOSED GROUND FLOOR PLAN AT PRE APPLICATION STAGE



GROUND FLOOR PLAN
PROPOSED HOUSING OPTION
1:50@A1

1. THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED UPON CLIENT SUPPLIED DRAWINGS FOR PLANNING USE ONLY. NOT FOR CONSTRUCTION PURPOSES.
2. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
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NO.	REVISION	DATE

SHOREARCHITECTURE
 STURDEYS MOTORCYCLES GARAGE
 94A, 94C SHIPBOURNE ROAD, TONBRIDGE

HOUSING OPTION
 PROPOSED GROUND FLOOR PLAN

1:50@A1 05 2022 SA_144 P(H)01

3.4 PROPOSED FIRST FLOOR PLAN AT PRE APPLICATION STAGE



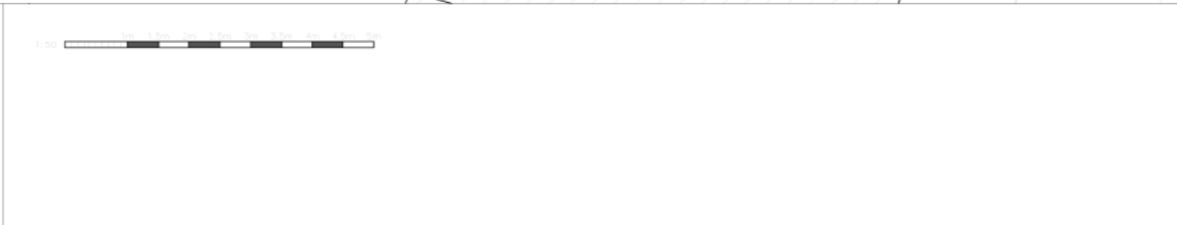
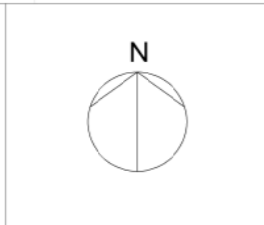
FIRST FLOOR PLAN
PROPOSED HOUSING OPTION
1:50@A1

<p>1. THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED UPON CLIENT SUPPLIED DRAWINGS FOR PLANNING USE ONLY. NOT FOR CONSTRUCTION PURPOSES.</p> <p>2. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.</p> <p>3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.</p> <p>4. THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT THE PRIOR WRITTEN AGREEMENT OF THE ARCHITECT</p>	<p>N</p> 		<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISION	DATE										<p>SHORE ARCHITECTURE</p> <p>STURDEYS MOTORCYCLES GARAGE 94A, 94C SHIPBOURNE ROAD, TONBRIDGE</p> <p>HOUSING OPTION PROPOSED FIRST FLOOR PLAN</p> <p>1:50@A1 05 2022 SA.144 P(H)02</p>
NO.	REVISION	DATE														

3.5 PROPOSED SECOND FLOOR PLAN AT PRE APPLICATION STAGE



1. THE DIMENSIONS SHOWN ON THIS DRAWING HAVE BEEN BASED UPON CLIENT SUPPLIED DRAWINGS FOR PLANNING USE ONLY. NOT FOR CONSTRUCTION PURPOSES.
2. ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES NOTED TO THE ARCHITECT IMMEDIATELY.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
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NO.	REVISION	DATE
1	PRELIMINARY ISSUE	

SHOREARCHITECTURE
 STURDEYS MOTORCYCLES GARAGE
 94A, 94C SHIPBOURNE ROAD, TONBRIDGE

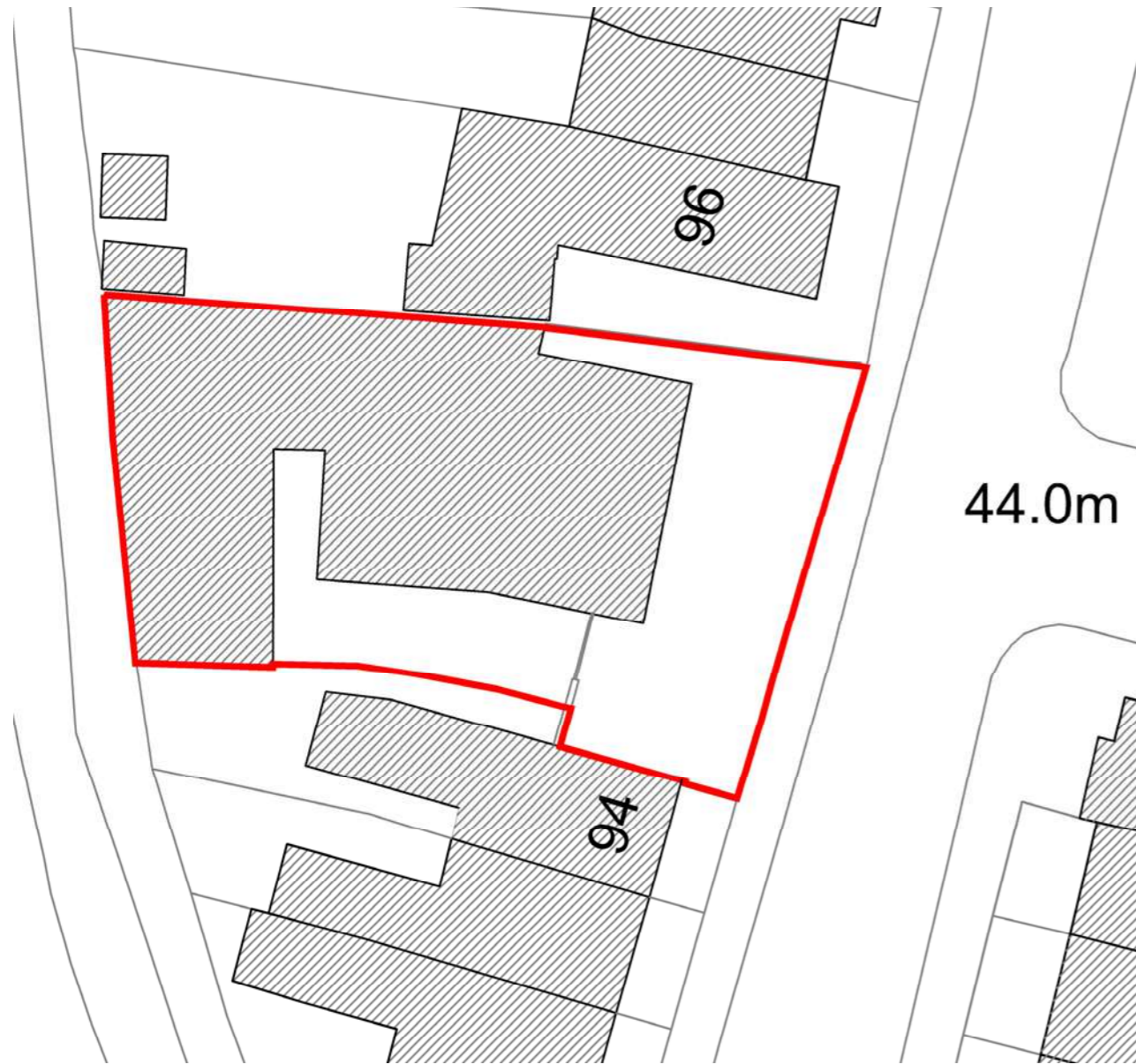
HOUSING OPTION
 PROPOSED SECOND FLOOR PLAN

1:50@A1 05 2022 SA_144 P(H)03

4.0 DESIGN PROPOSAL

4.1 DESIGN PROPOSAL

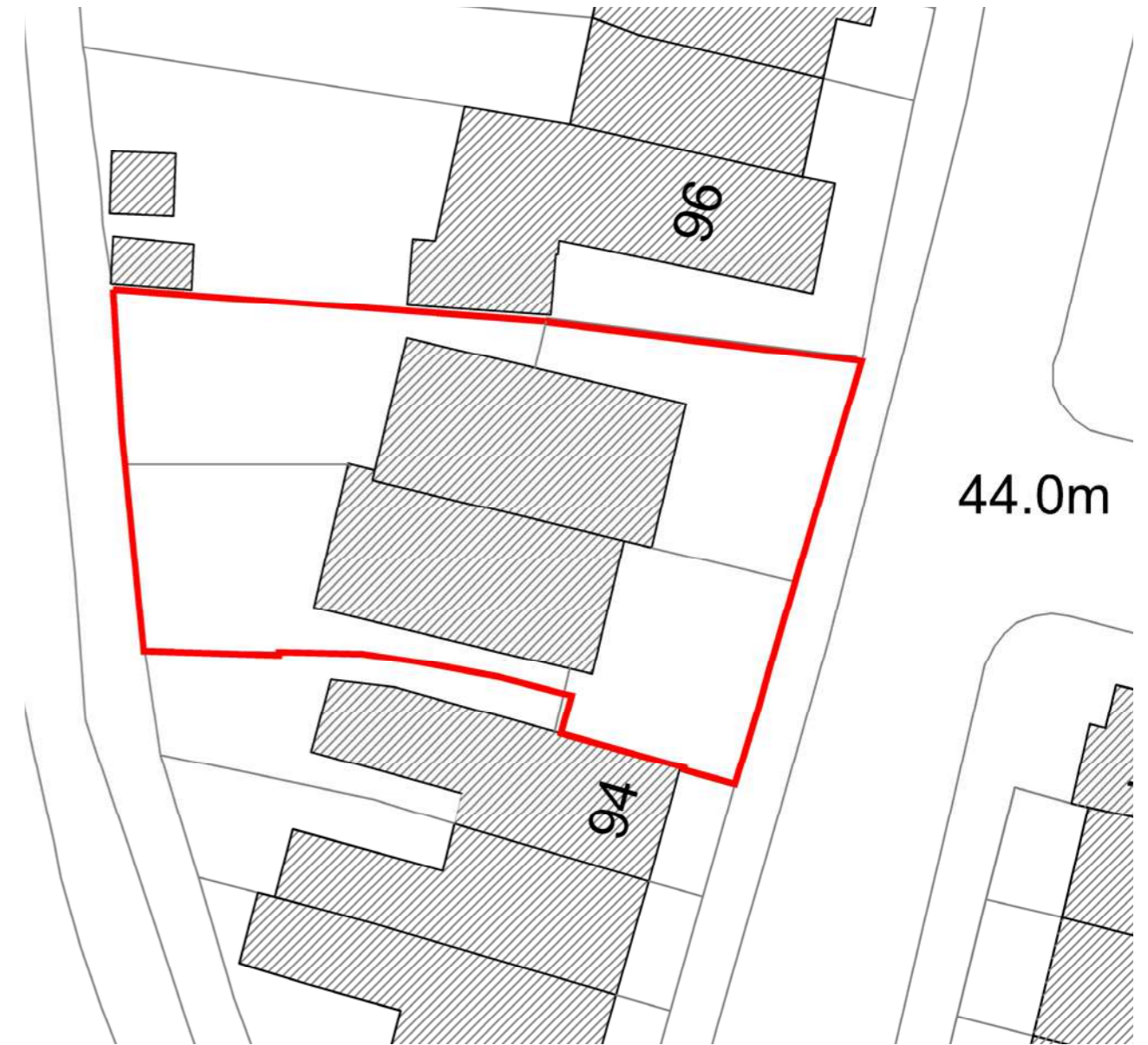
EXISTING VS PROPOSED BLOCK PLANS



EXISTING BLOCK PLAN

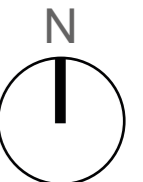
The existing site consists of a 2-storey primary building with single storey garage workshop constructed to the rear position of the site, forming an abutment with the Western boundary.

The primary elevation is set back circa 2.5m from the main street frontage, including the immediate neighbouring buildings to the North and South. The building is constructed along the full length of the Western boundary.



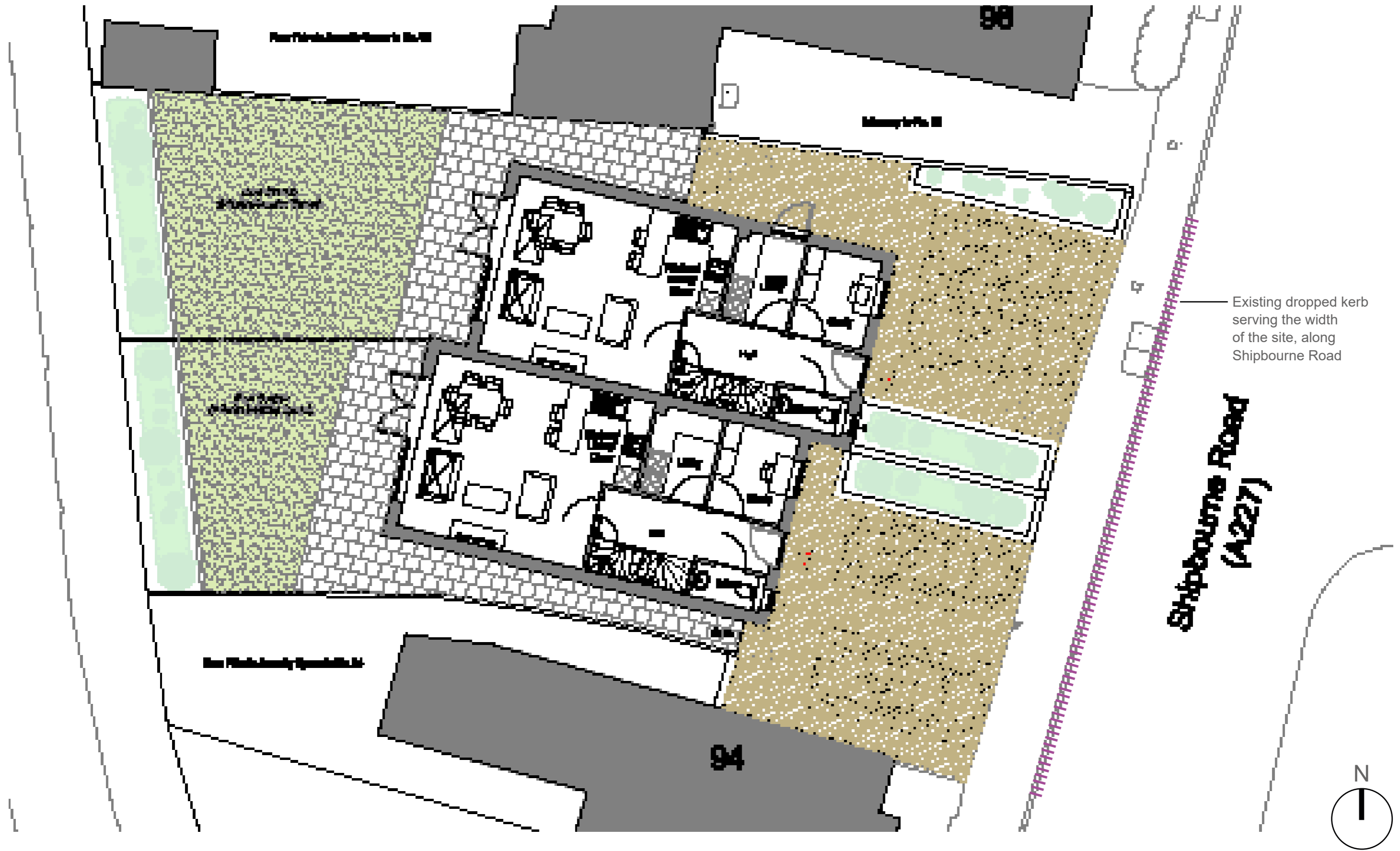
PROPOSED BLOCK PLAN

The proposed development retains the existing set back from the public highway to enable the provision of 4 No. off-street parking spaces, to avoid adding further pressure upon the existing resident parking provision. The depth of the buildings have been designed to respect the rear building line of the neighbouring properties and also ensure that the sites are served with large rear private amenity spaces.



4.2 DESIGN PROPOSAL

PROPOSED GROUND FLOOR PLAN



4.3 DESIGN PROPOSAL

PROPOSED FIRST FLOOR PLAN

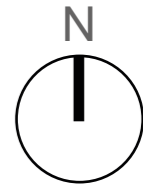


4.4 DESIGN PROPOSAL

PROPOSED SECOND FLOOR PLAN

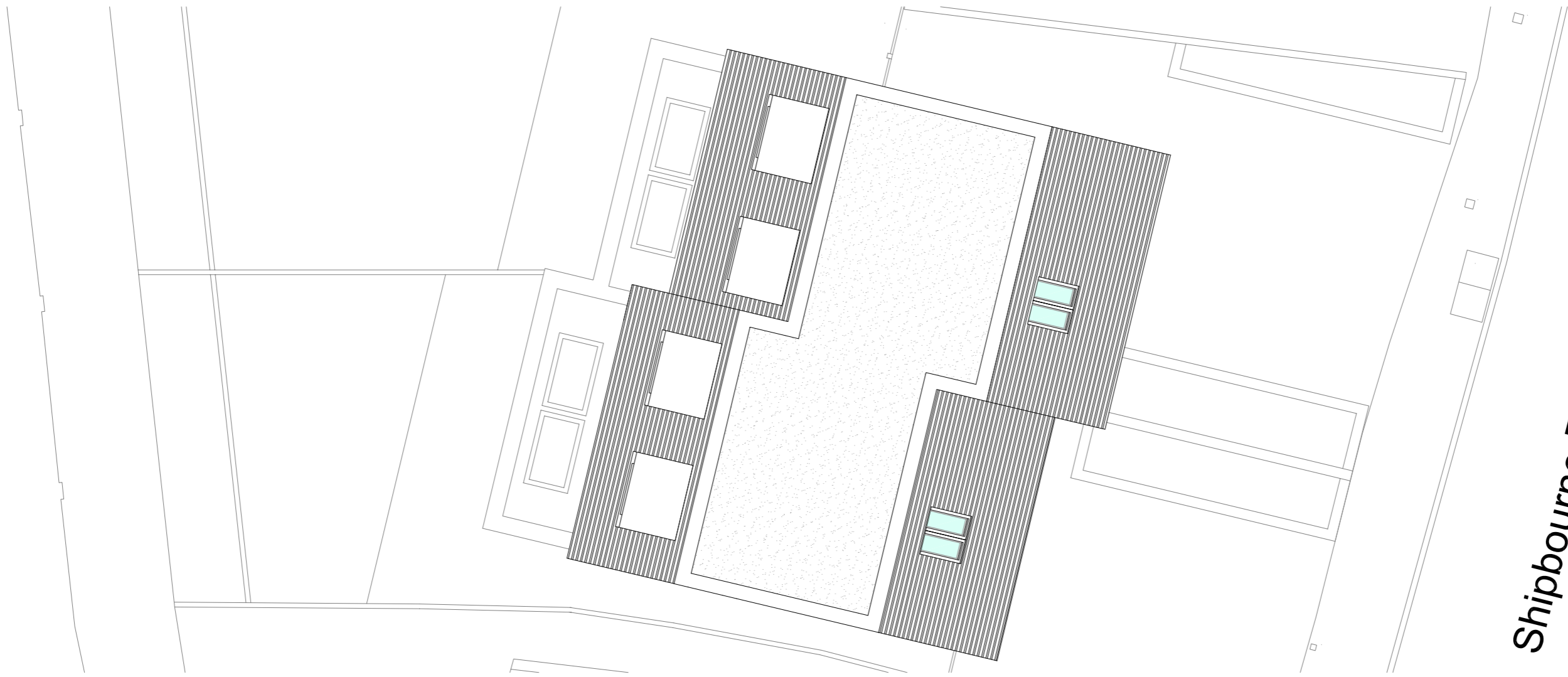


Shipbourne Road
(A227)

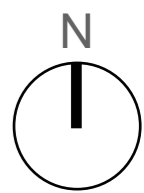


4.5 DESIGN PROPOSAL

PROPOSED ROOF PLAN



*Shipbourne Road
(A227)*



4.6 DESIGN PROPOSAL

EXISTING & PROPOSED STREET SCENE



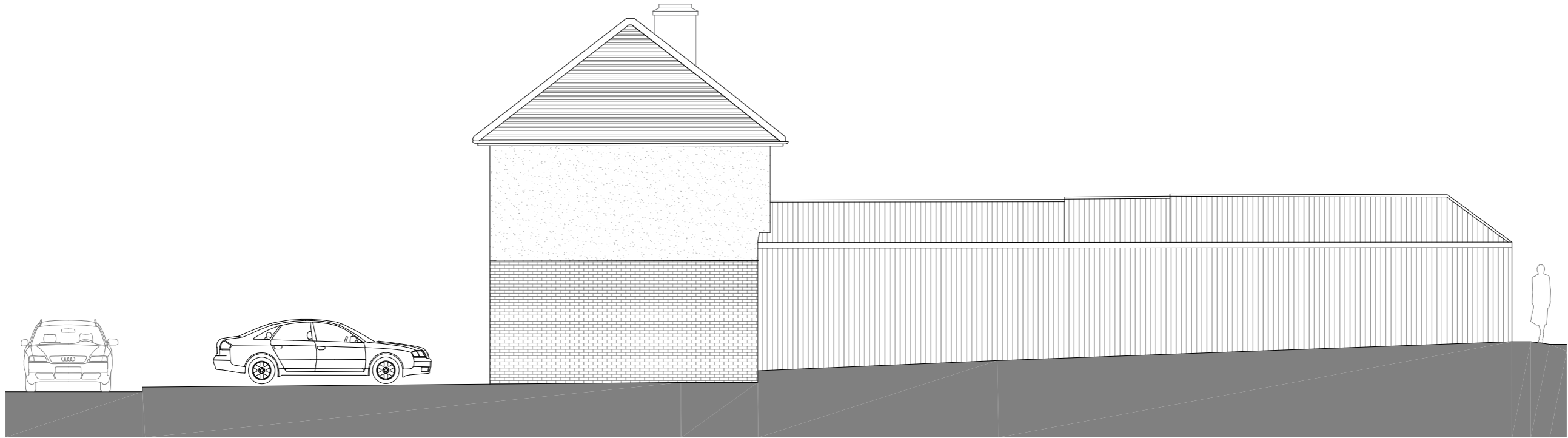
EXISTING FRONT ELEVATION/STREET SCENE (FACING WEST)



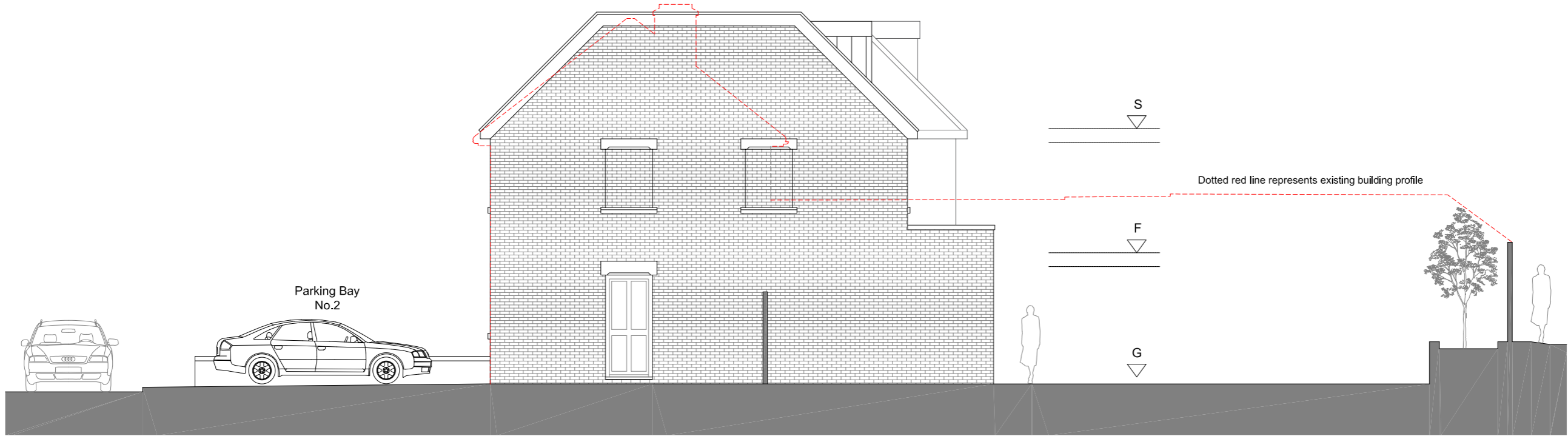
PROPOSED FRONT ELEVATION/STREET SCENE (FACING WEST)

4.7 DESIGN PROPOSAL

EXISTING & PROPOSED NORTH ELEVATION



EXISTING NORTH ELEVATION (FACING SOUTH)



PROPOSED NORTH ELEVATION (FACING SOUTH)

4.8 DESIGN PROPOSAL

EXISTING & PROPOSED SOUTH ELEVATION



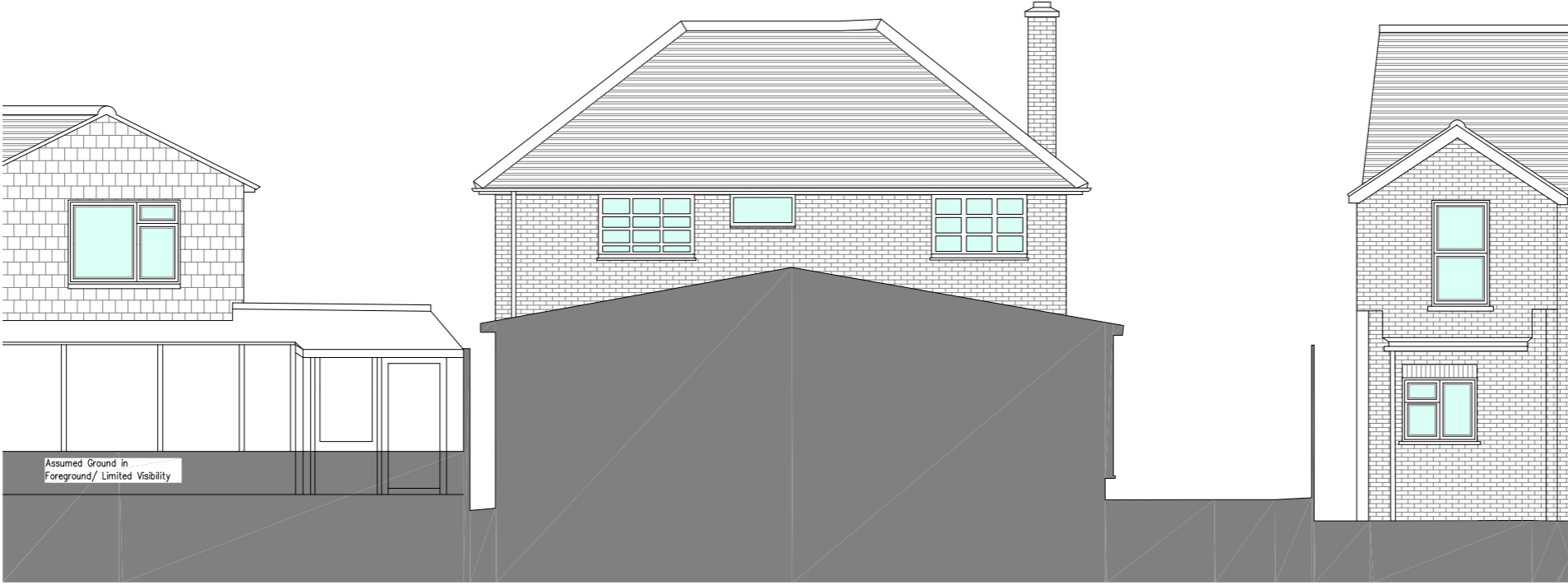
EXISTING SOUTH ELEVATION (FACING NORTH)



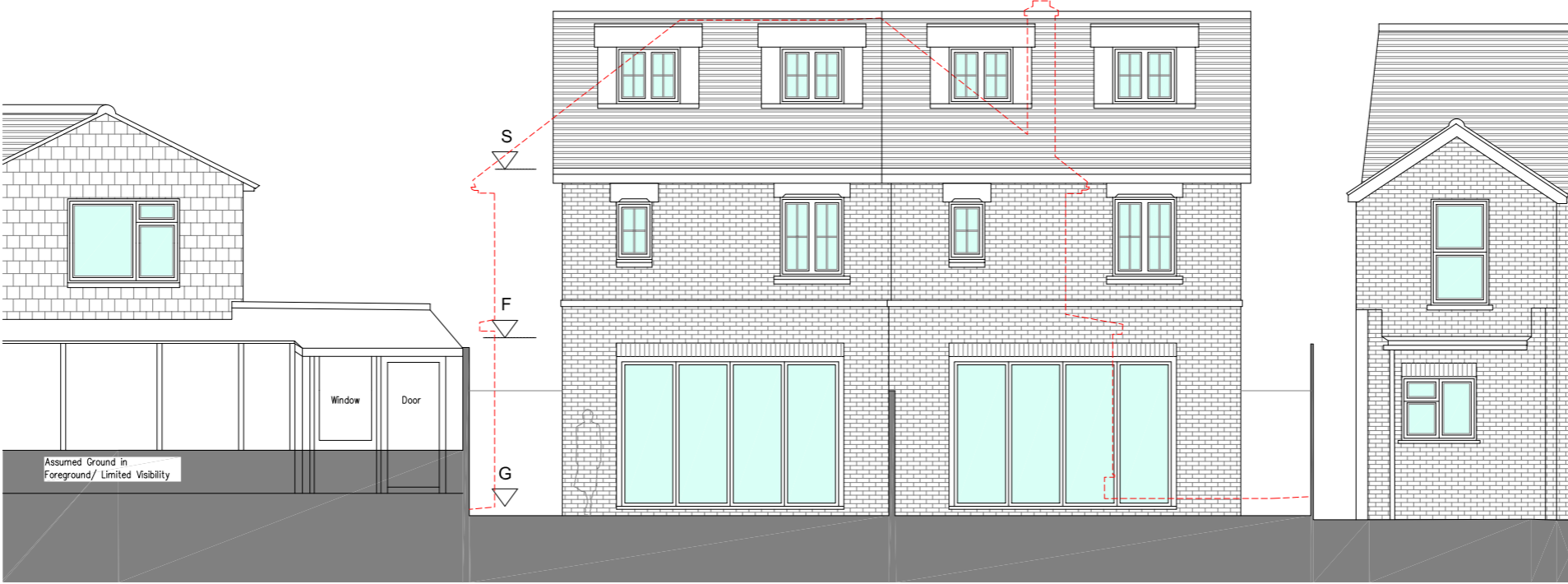
PROPOSED SOUTH ELEVATION (FACING NORTH)

4.9 DESIGN PROPOSAL

EXISTING & PROPOSED REAR ELEVATION



EXISTING REAR ELEVATION (FACING EAST)



PROPOSED REAR ELEVATION (FACING EAST)

4.10 DESIGN PROPOSAL

EXISTING & PROPOSED SECTIONS



SECTION KEY PLAN
(Not to Scale)

MASSING & SCALE

The existing site consists of a 2-storey primary building to the front of the site which outlines the street scene in Section 3.6. The rear of the site does however contain a large footprint of commercial/industrial use with single storey structure pushing back towards the Western boundary line, connected to the rear of the 2-storey building.

The diagram below illustrates in a red hatch, the outline profile of the existing built form to the site which includes a 2-storey structure to the front elevation with extensive single storey garage to the rear. The height of the rear workshop together with the fact that this is constructed right up to the boundary wall on both neighbour sides (North & South) presents an over bearing, dominant mass which is incongruous with the height of the typical boundary fence lines separating the rear amenity spaces of the houses along Shipbourne Road.

The proposed scheme seeks to demolish the workshop in it's entirety and instead, replace this with a soft landscaped private amenity space/ rear garden serving the new properties.



EXISTING & PROPOSED SECTION (FACING SOUTH)
(Scale 1:100@A3)

4.11 PROPOSED LAYOUT

BUILDING LAYOUT

The proposed development provides 2 no. semi-detached residential properties which aligns with the typical classification of build use along this section of Shipbourne Road.

The proposed footprint has been designed to respond to the existing set back of the built form upon the existing site. This also presents the opportunity to provide resident off-street parking and localised soft landscaping, as opposed to reliance upon resident parking provision (via permit system) along the road. Due to the sites location being within a 3-way junction, it is felt that this strategy is also beneficial in regard to general access and manoeuvrability entering Shipbourne Road from Dernier Road.

Access to each of the buildings is via the front entrance door to the primary street elevation. A side access gate is provided to each plot which leads to the rear amenity spaces serving the properties.

The general living accommodation (Dining, Kitchen, Bathroom, and Living Rooms) are located within the ground floor with single staircase providing access to the bedrooms and additional bathrooms above.

The first and second floors have been designed to be set back from the ground floor footprint to further respect the rear elevations of the existing, neighbouring sites. In doing this, it also allows provision of roof lights to be installed above the living area to further promote natural

The boundary fences separating the site from No.s 94 & 96 are proposed to be replaced with a traditional timber fence (1.8m in height) which aligns with the typical boundary treatment between rear gardens of those houses along the road.

5.0 ACCOMMODATION SCHEDULE

HOUSE NO.1 (South)			
ROOM:	LEVEL:	AREA (m2)	AREA (sqft)
Kitchen/Living/Diner	G	28.6	308
Utility	G	4.5	48
Hall/Stairs	G	9.5	102
Bathroom	G	1.9	20
Study	G	5	54
Ground Floor (GIA)		51.1	550
Bedroom 1	F	11.7	126
Ensuite	F	2.7	29
Walk-in-Wardrobe	F	1.7	18
Store 2	F	0.5	5
Landing	F	4	43
Common Bathroom	F	4.5	48
Bedroom 2	F	11.6	125
First Floor		38.1	410
Bedroom 3	S	11.9	128
Landing	S	5.3	57
Common Bathroom	S	4.1	44
Walk-in-Wardrobe	S	2.3	25
Store	S	0.6	6
Second Floor		25.5	275
TOTAL:		114.7	1235
Front Amenity Space	G	53.1	572
Rear Amenity Space	G	61.3	660
TOTAL PRIVATE AMENITY		104.9	1129
OFF STREET PARKING	2 Spaces		

HOUSE NO.2 (North)			
ROOM:	LEVEL:	AREA (m2)	AREA (sqft)
Kitchen/Living/Diner	G	28.8	310
Utility	G	4.5	48
Hall/Stairs	G	9.5	102
Bathroom	G	1.9	20
Study	G	5.0	54
Ground Floor (GIA)		51.3	552
Bedroom 1	F	11.7	126
Ensuite	F	2.7	29
Walk-in-wardrobe	F	1.7	18
Store	F	0.5	5
Landing	F	4	43
Common Bathroom	F	4.5	48
Bedroom 2	F	11.1	119
First Floor (GIA)		38.2	411
Bedroom 3	S	12	129
Landing	S	5.3	57
Common Bathroom	S	4.2	45
Walk-in-Wardrobe	S	2.3	25
Store	S	0.6	6
Second Floor (GIA)		25.7	277
TOTAL (GIA):		115.2	1240
Front Amenity Space	G	61	657
Rear Amenity Space	G	78	840
TOTAL PRIVATE AMENITY		139	1496
OFF STREET PARKING	2 Spaces		

SUMMARY:

Existing GIA
 Ground Floor 192m2
 First Floor = 47.5m2
Total Existing GIA = 239.5m2

Proposed GIA
 Ground Floor 102.8m2
 First Floor = 76.3m2
 Second Floor = 51.2m2
Total Proposed GIA = 229.9m2

Overall Reduction (GIA) Proposed = -9.3m2

Site Area = 374.7m2/ 0.03747 hectares

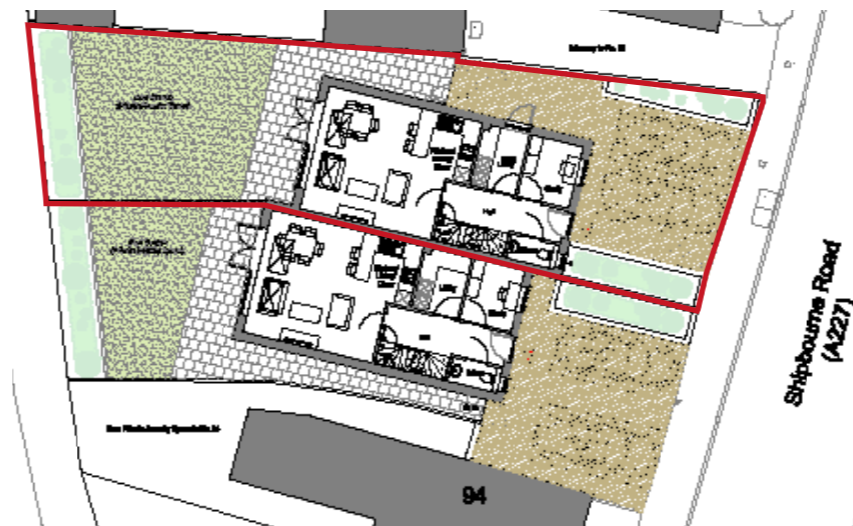
NOTE:

Existing site boundary/areas based upon professional measured Building Survey.

* Excludes area below 1.5m height



* Excludes area below 1.5m height



6.0 RELEVANT APPROVED PLANNING APPLICATIONS

APPLICATION ADDRESS:

The Greyhound 123 Shipbourne Road Tonbridge Kent TN10 3EJ

APPLICATION REFERENCE:

10/01282/FL

DESCRIPTION:

Demolition of existing buildings and redevelopment of the site to provide eight no. 2 bedroom dwellings in a four storey building, with refuse bin enclosure, access road, car and cycle parking area

APPLICATION ADDRESS:

65 Shipbourne Road Tonbridge Kent TN10 3ED

APPLICATION REFERENCE:

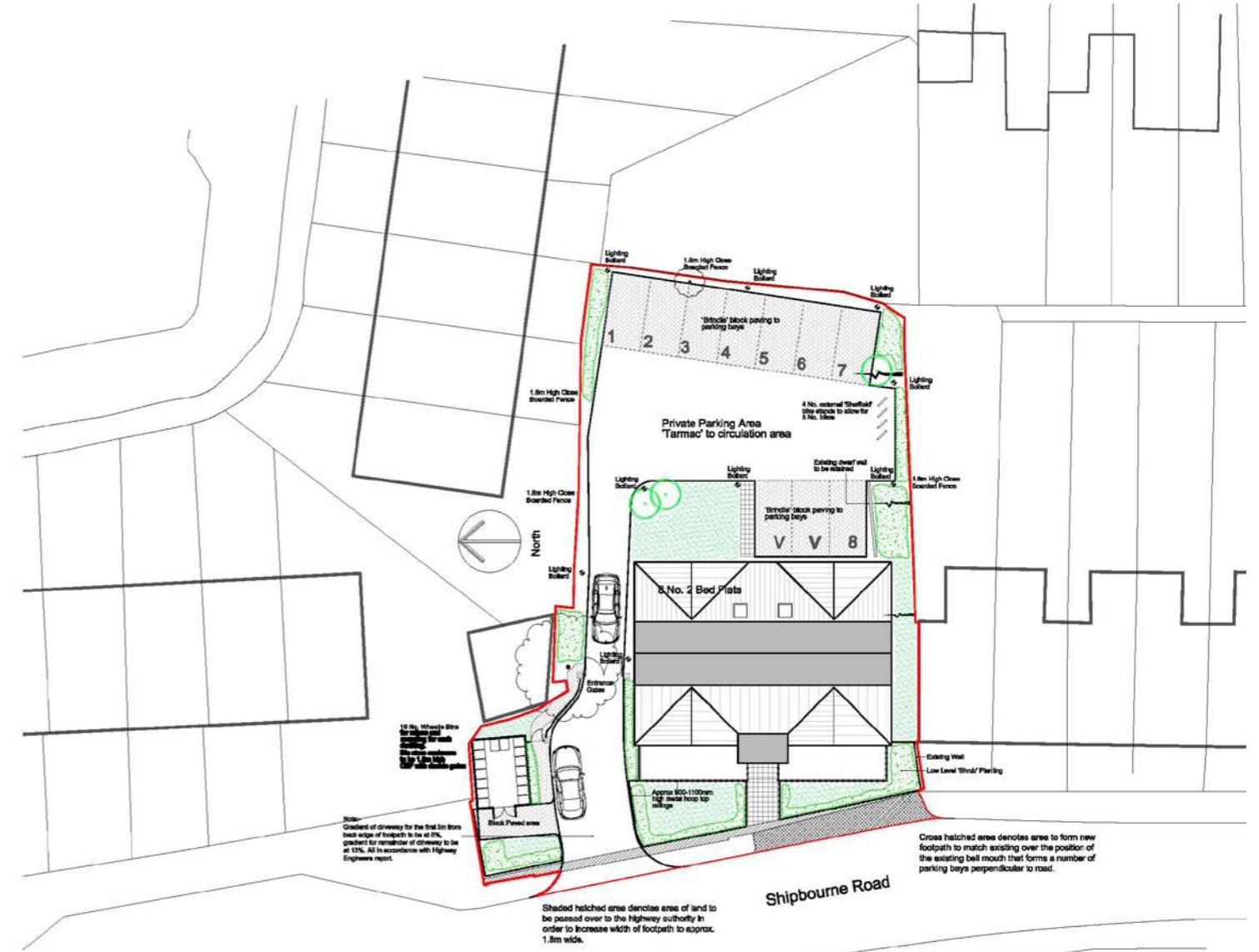
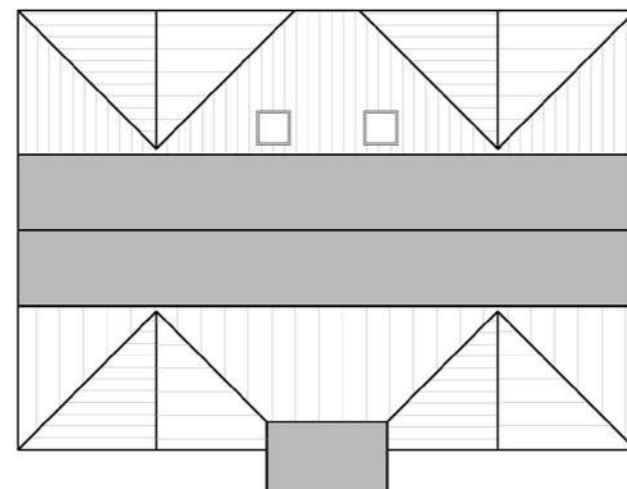
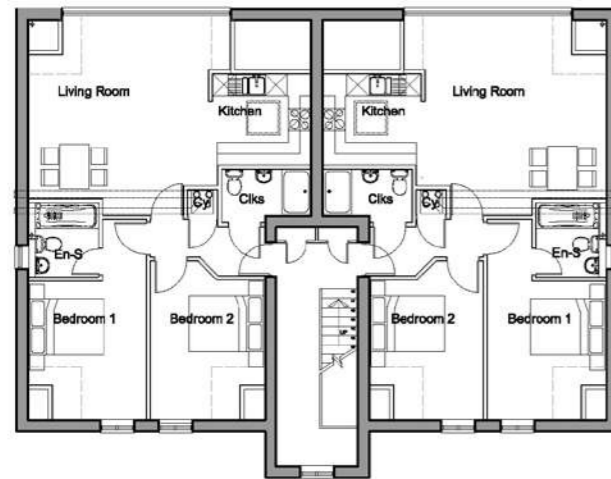
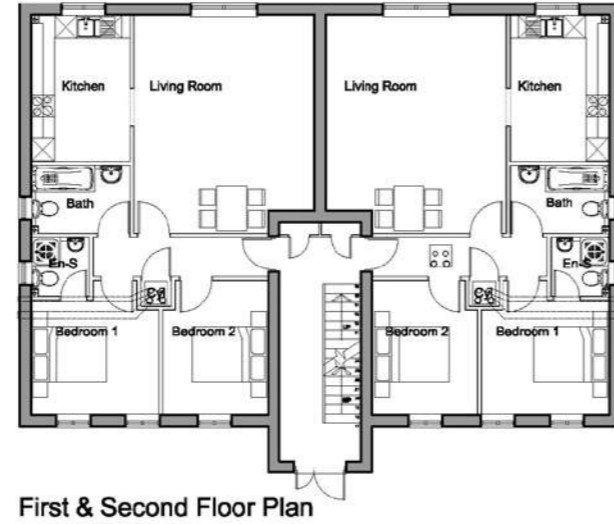
19/02106/FL

DESCRIPTION:

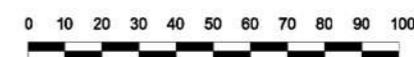
Change of use from A1 to 3 self-contained flats, pitch roof extension with dormer windows and two storey rear extension

5.1 RELEVANT APPROVED PLANNING APPLICATIONS

APPLICATION REF: 10/01282/FL



Typical Low Level Lighting Bollard



Rev:	Date:	Drawn:
Planning		
 www.fernham-homes.co.uk		
Client: Fernham Homes		
Project Title: The Greyhound Public House, Tonbridge Kent, TN10 3EJ		
Drawing Title: Site Layout and Floor Plans		
Scale: 1:100 & 1:200 A1	Date: Feb 2010	Drawn: AW
Drawing No: PL / 211 / 02		Rev:

5.2 RELEVANT APPROVED PLANNING APPLICATIONS

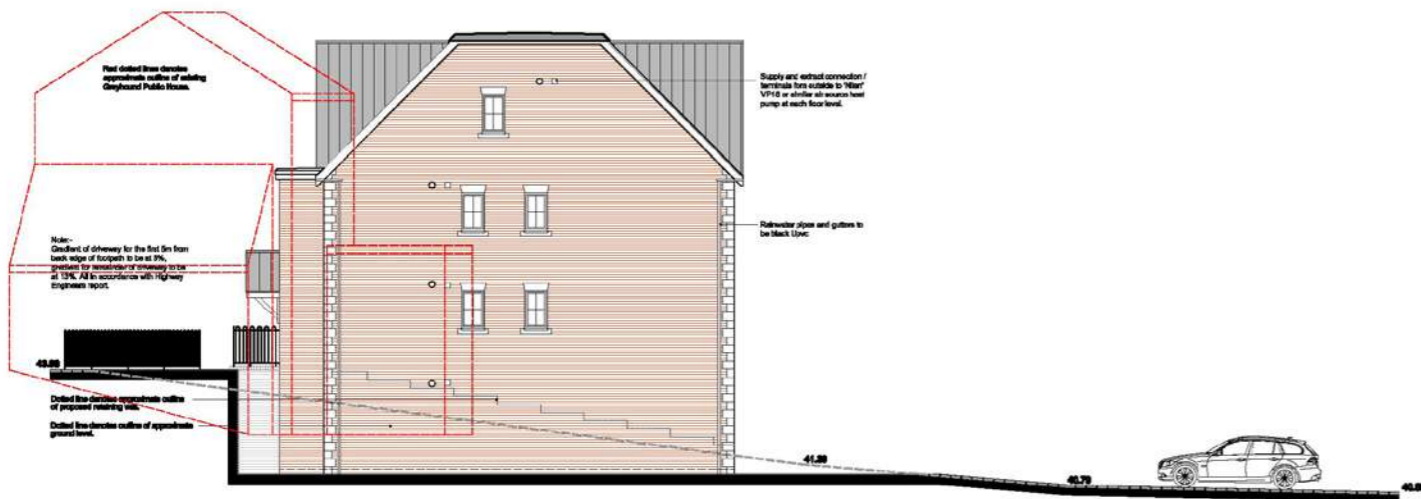
APPLICATION REF: 10/01282/FL



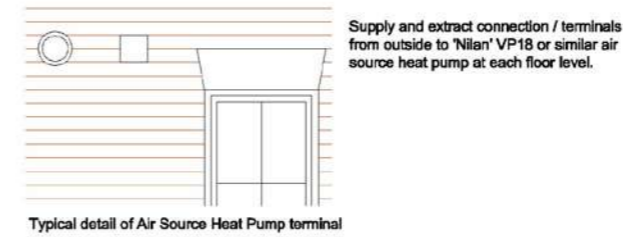
Front Elevation



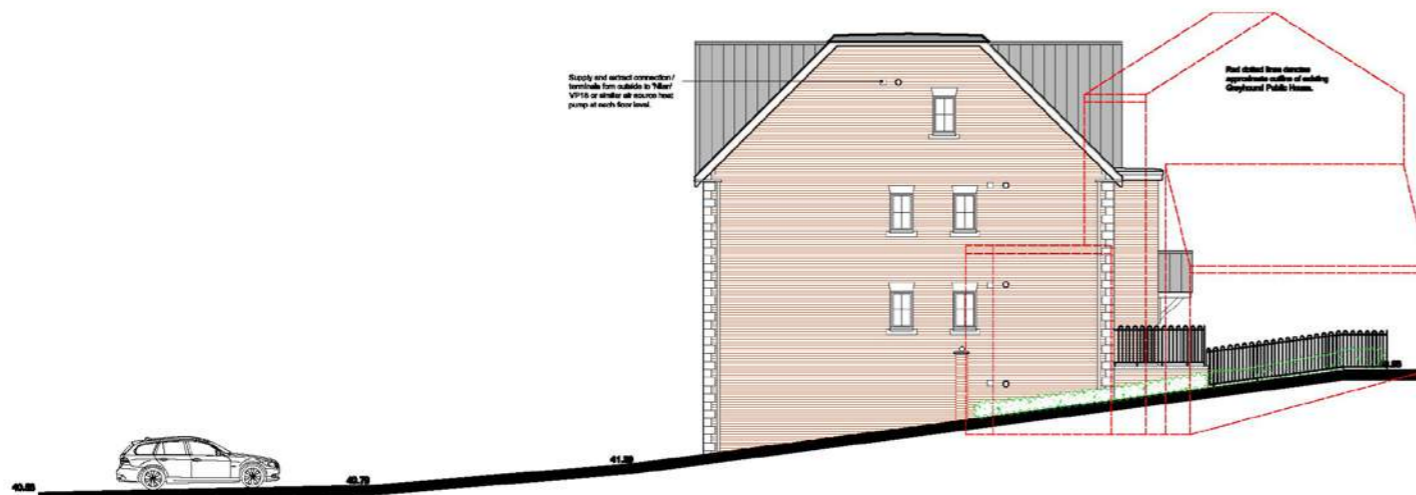
Rear Elevation



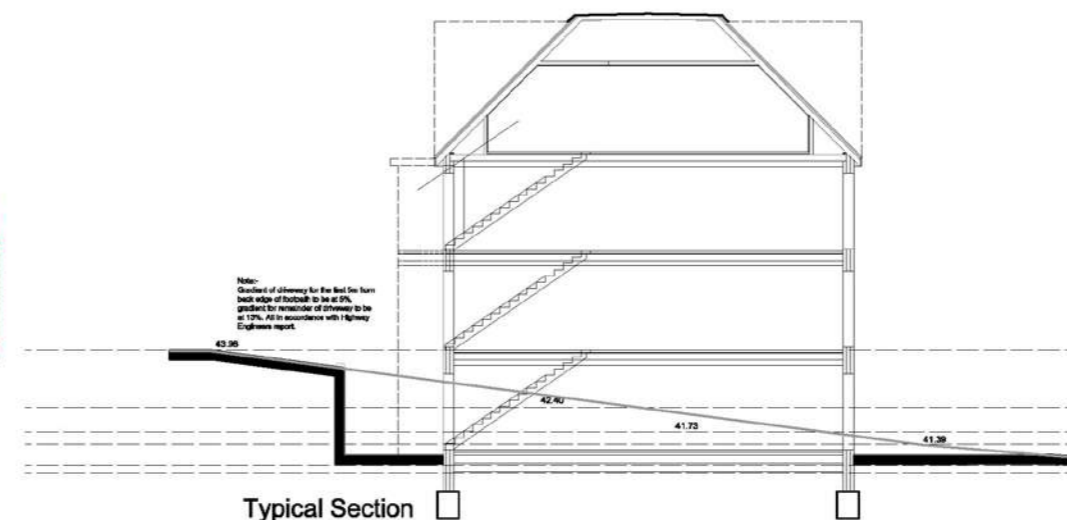
Side Elevation



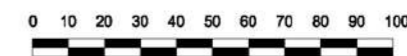
Typical detail of Air Source Heat Pump terminal



Side Elevation



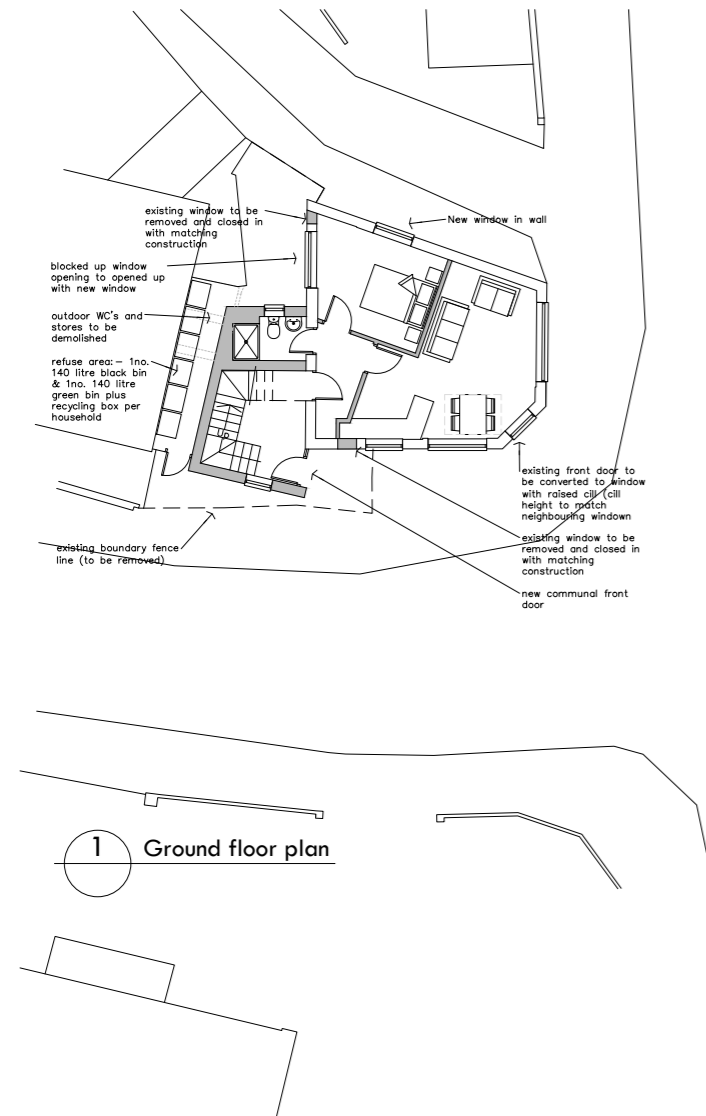
Typical Section



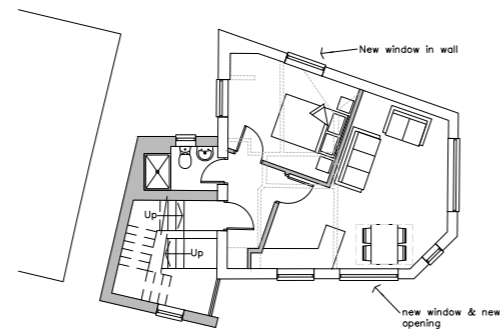
Rev.	Desc.	Detail
Planning		
 www.fernham-homes.co.uk		
Client: Fernham Homes		
Project Title: The Greyhound Public House, Tonbridge Kent, TN10 3EJ		
Drawing Title: Elevations and Section		
Scale: 1 : 100	Size: A1	Date: Feb 2010
Drawing No: PL / 211 / 03		Drawn: AW

3.04 RELEVANT APPROVED PLANNING APPLICATIONS

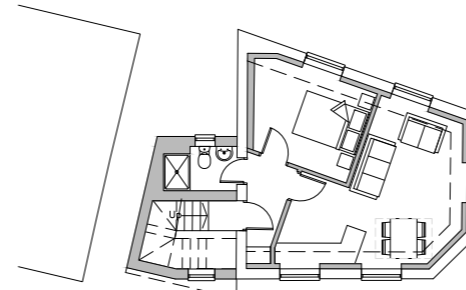
APPLICATION REF: 19/02106/FL



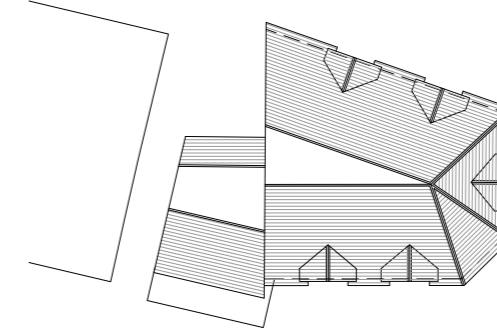
1 Ground floor plan



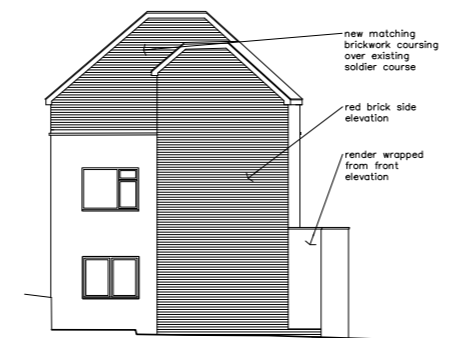
2 First floor plan



3 Second floor plan



4 Roof plan



5 West Elevation



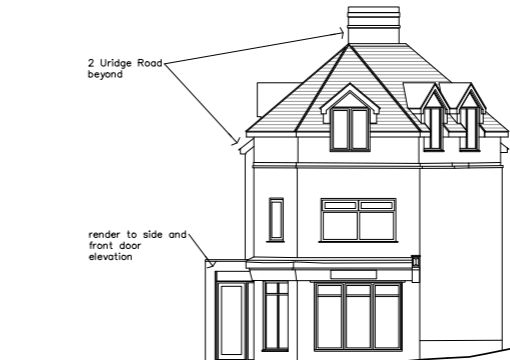
6 South Elevation



9 Site Location Plan



7 North Elevation



8 East Elevation



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- The copyright of this design is site specific and may not be reproduced on any other site without the Architects written permission.
- Only figured dimensions are to be used for construction purposes. This drawing is to be read in conjunction with all relevant details for the project.
- All dimensions are to be checked on site prior to commencement, any discrepancy is to be reported to the Architect or Contract Administrator.
- All dimensions are in millimetres unless noted otherwise. All levels are shown in meters unless noted otherwise.
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CONSTRUCTION NOTES

- The Contractor is responsible for the correct setting out of the work.
- All building materials, components, workmanship to comply with the appropriate Building Regulations. British Standards Codes of Practice and manufacturers' recommendations.
- All equipment installed in connection with Gas, Electricity and Water Services shall conform to the Supply Authority's By-Laws and Regulations and shall be subject to their Officer's inspection and approval.
- These drawings are to be read in conjunction with all other Architects, Consultants and Specialist sub-contractors drawings.
- All structural timber to be pre-treated strength graded to Structural Engineer's details and to be stamped KD (kiln dried).
- All external s/e to be pre-treated with preservative.
- All dimensions and levels to be checked on site prior to construction and the manufacture of steelwork and architectural ironmongery, stone work and any other purpose made items.
- All materials, products etc. to be installed, applied etc. in accordance with the manufacturer's written instructions.
- All specialist details are Design Intent only & subject to specialist design & detailing. Our meaning of Design Intent is as follows:
 - This drawing demonstrates MKA's / the employer's objectives.
 - The final design/product(s) / installation are to be fit for purpose.
 - The design & manufacture are to comply with the relevant and current Statutory Regulations & British Standards.
 - A design warranty is to be provided for the benefit of the Employer / owner / end user.
 - All technical means to achieve the intent of the design is the responsibility of the appointed specialist.
 - The responsibility of the design is by others. The design intent drawing / specification sets out what the third party design is to achieve.

CLIENT

Mr Brooks

PROJECT

65 Shipbourne rd
Tonbridge
TN10 3ED

SHEET

Site location plan,
Proposed Plans
and Elevations

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Hadlow, Tonbridge, Kent TN11 0EF
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w: www.mka-architects.co.uk



SCALE AT A1 **DATE**

1:100 Aug 19

DRAWING STATUS

PRELIMINARY

JOB NUMBER	DRAWING NUMBER	REVISION
2210	05	-